Planning Committee

GREATER CAMBRIDGE
SHARED PLANNING

Agenda Item 9

MAJOR APPLICATIONS

23/04686/FUL

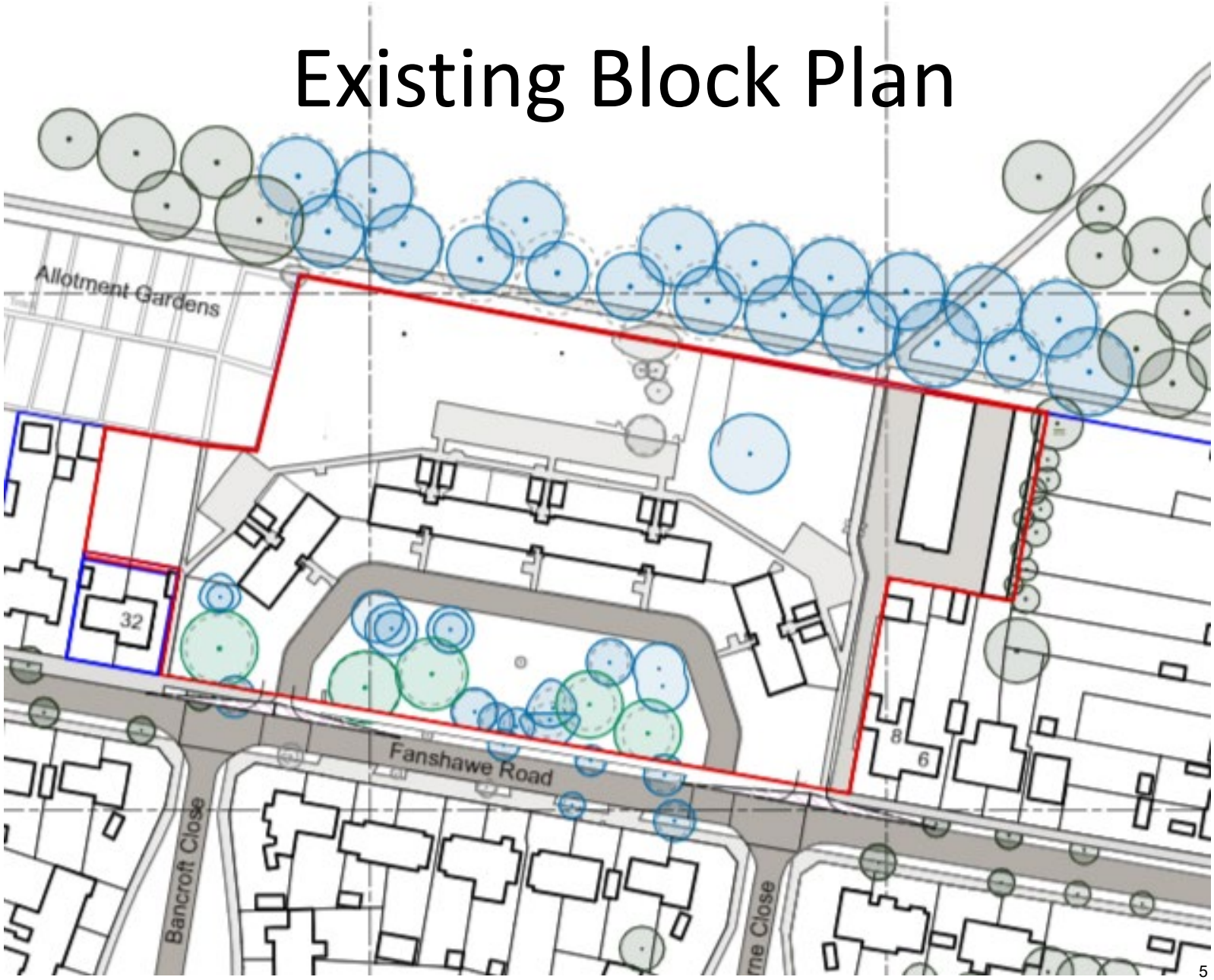
Demolition of the existing buildings, garages and hardstanding and the erection of 84 residential units, car parking, landscaping and associated works

12 – 34 Fanshawe Road

Existing Site

- Coleridge Recreation Ground
- Allotments
- Communal Gardens and Protected open Space
- Access to Recreation ground
- Hard-standing washing drying area
- Existing Garages on Site
- Existing 3 Storey apartments
- Sub station
- Protected Open Space

Existing Block Plan



Site & Context

2.5 Existing Buildings

The existing 30 apartments have been determined to no longer meet the requirements of the residents, fall below current space standards, have very low thermal efficiency, and are in poor condition, with structural issues.

The site also contains low-quality and under-utilised green spaces and parking areas, and garages.

1. Existing 3 storey flats on site

2. Existing garages on site

3. Existing Sub Station on perimeter of site

4. View of site from the centre of Coleridge Park

5. View from Bancroft Close

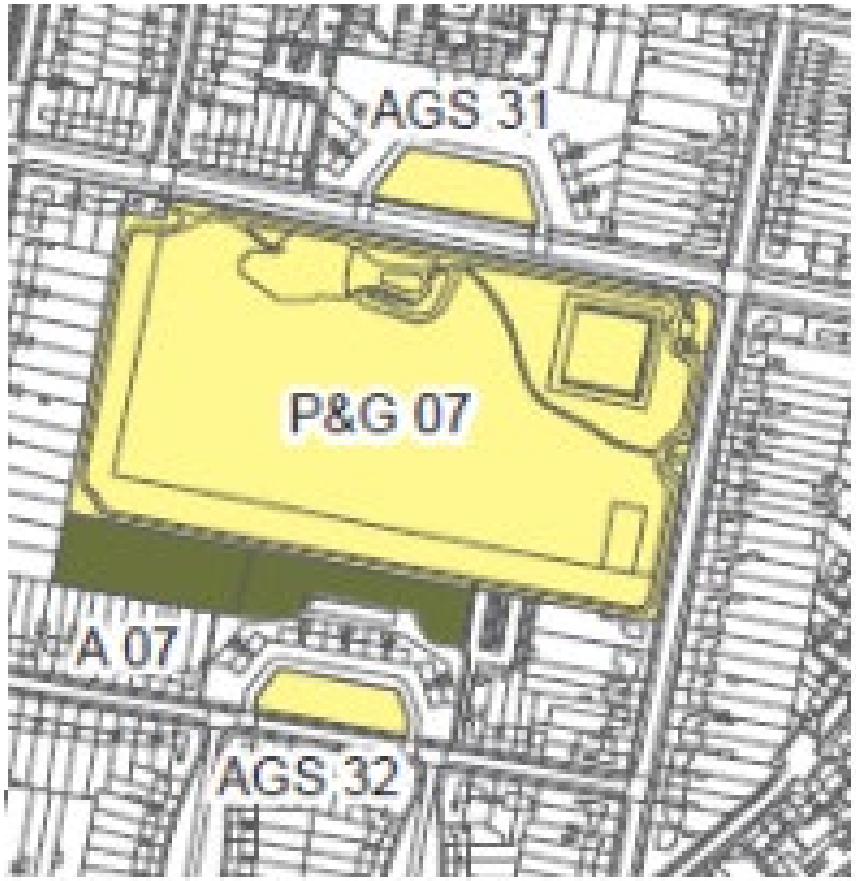
6. Looking west down Fanshawe Road

7. Looking east down Fanshawe Road

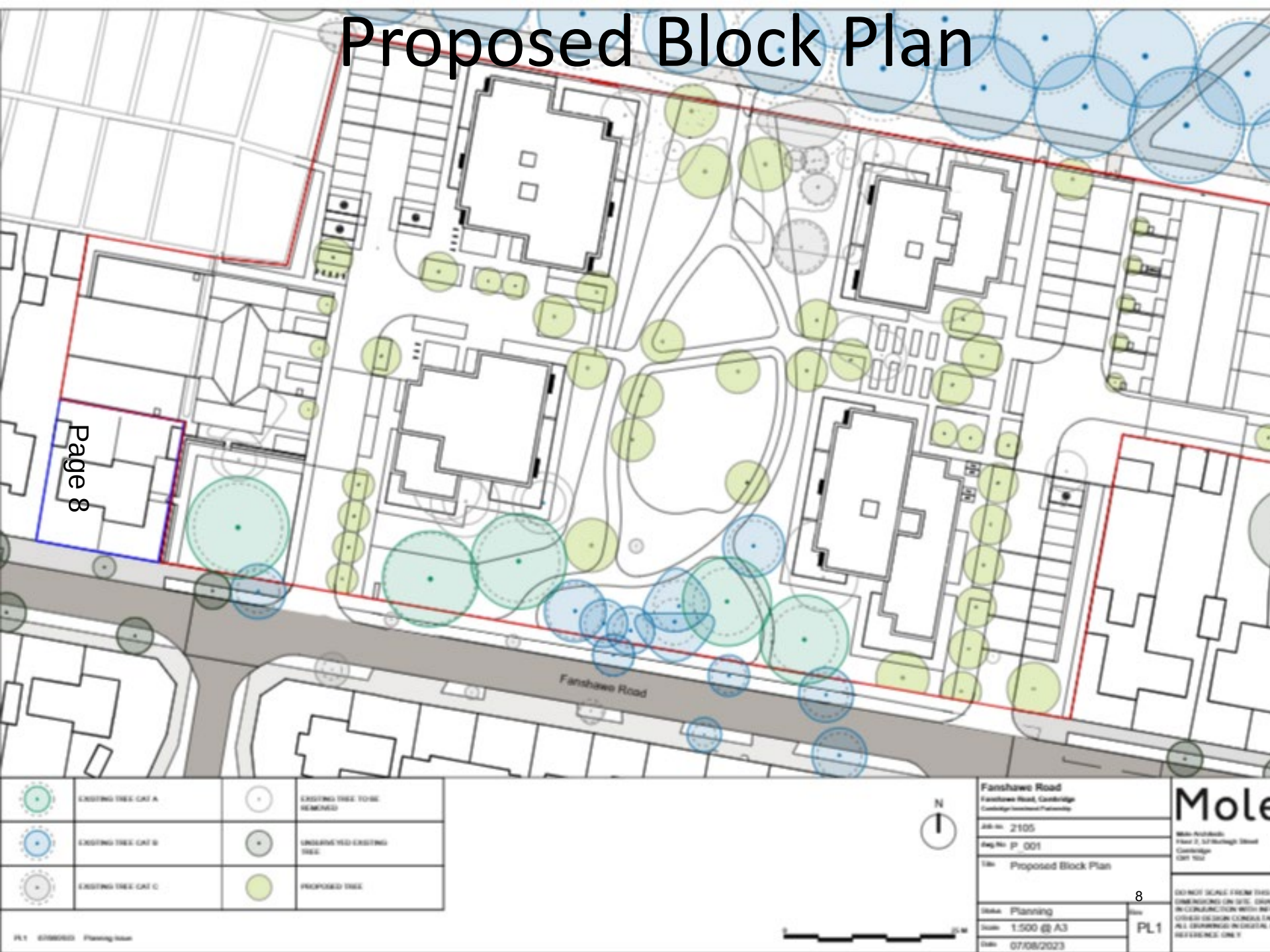
8. View from Coleridge Recreation Ground

Protected Open Space

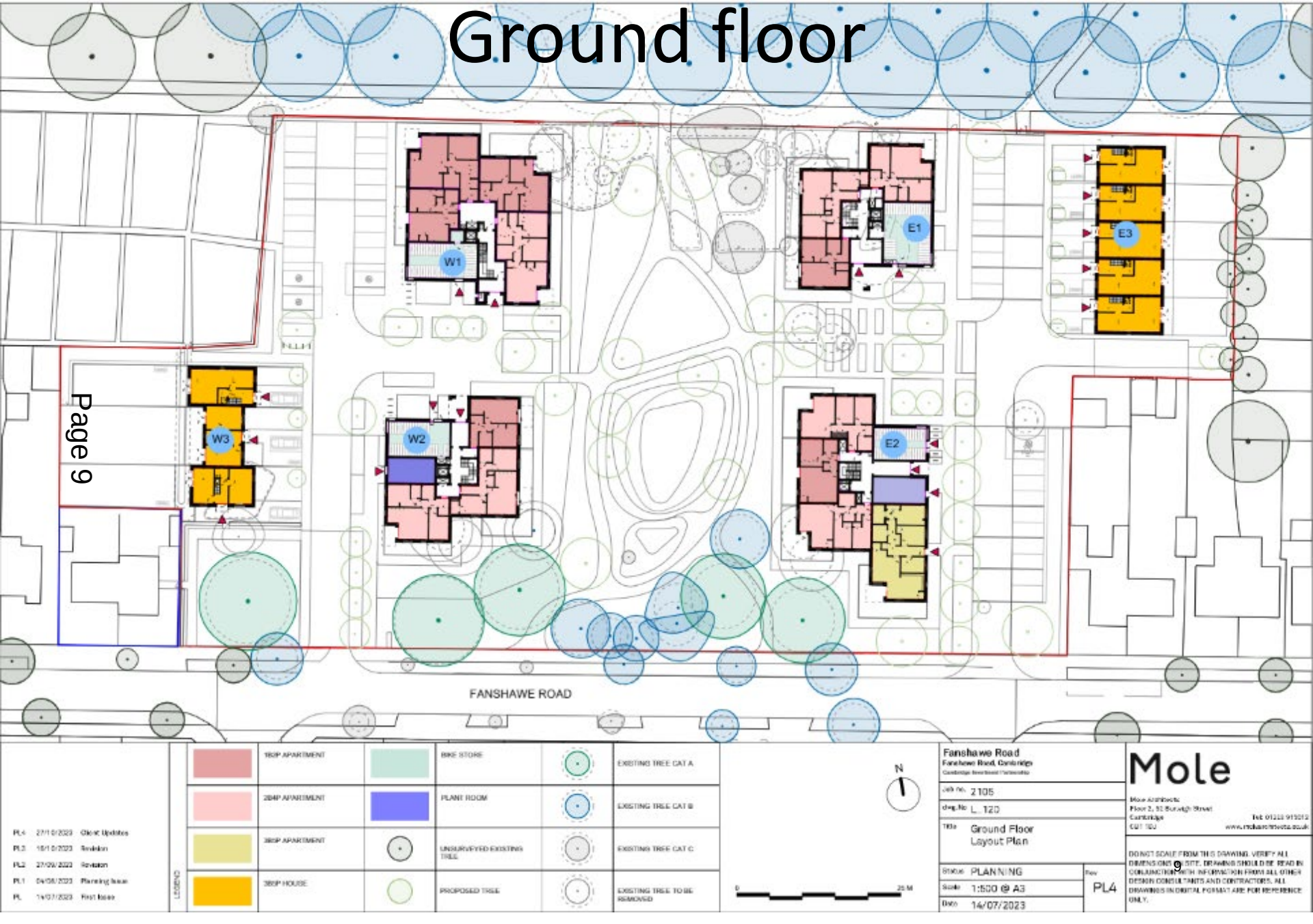
Local Plan Proposal Map extract 2018



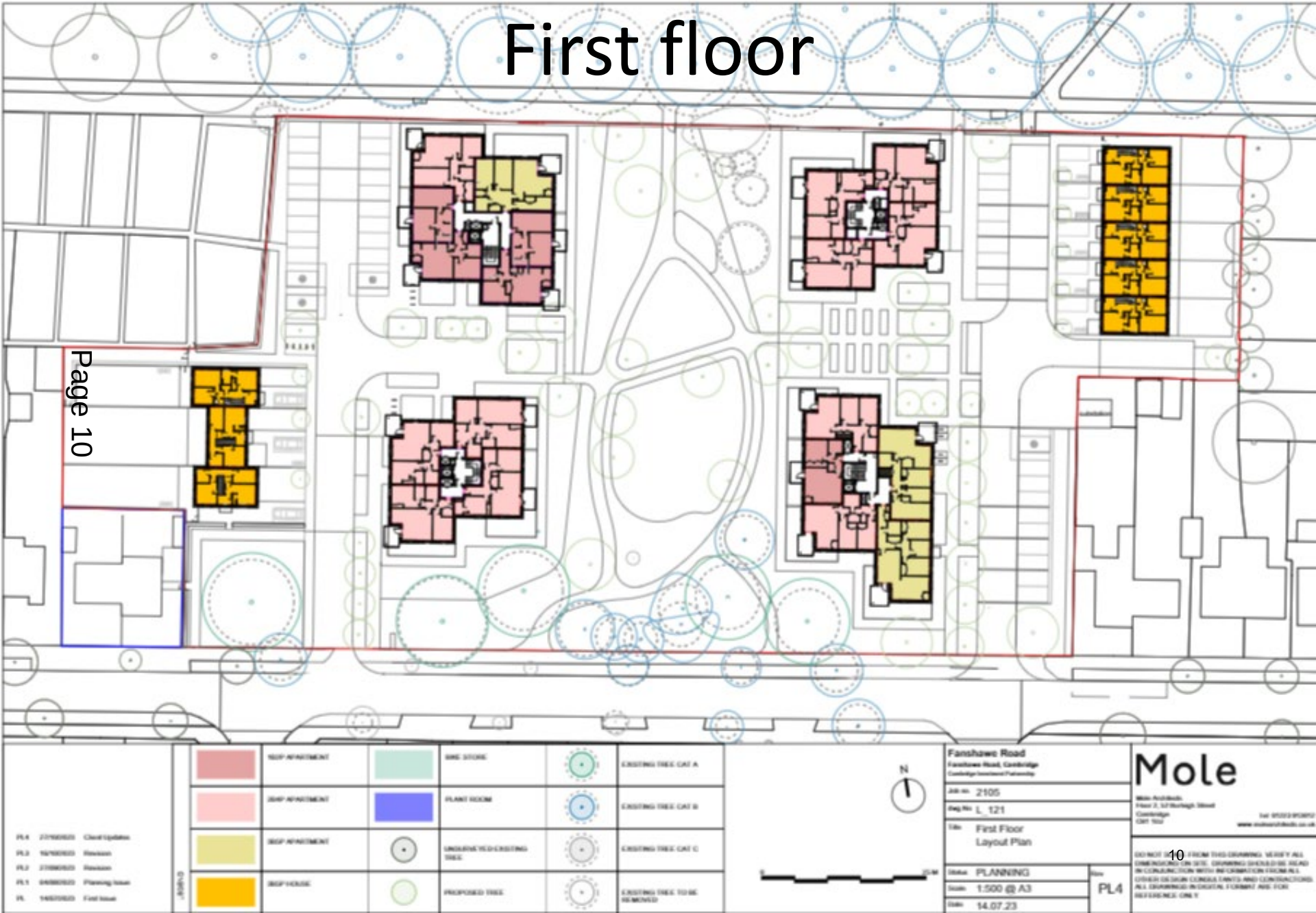
Proposed Block Plan



Ground floor

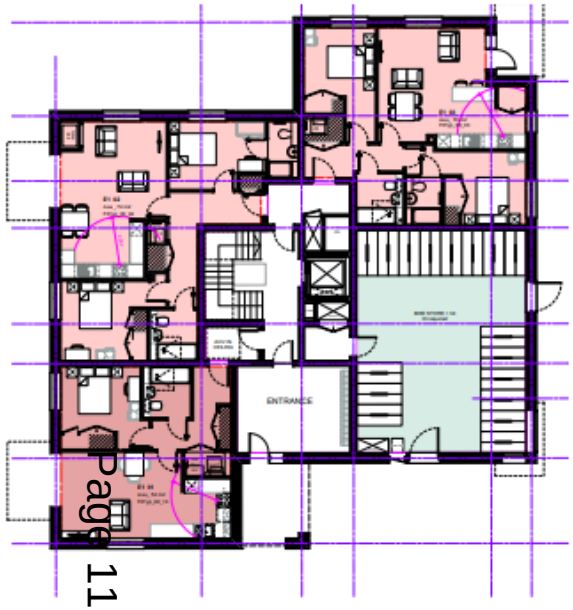


First floor

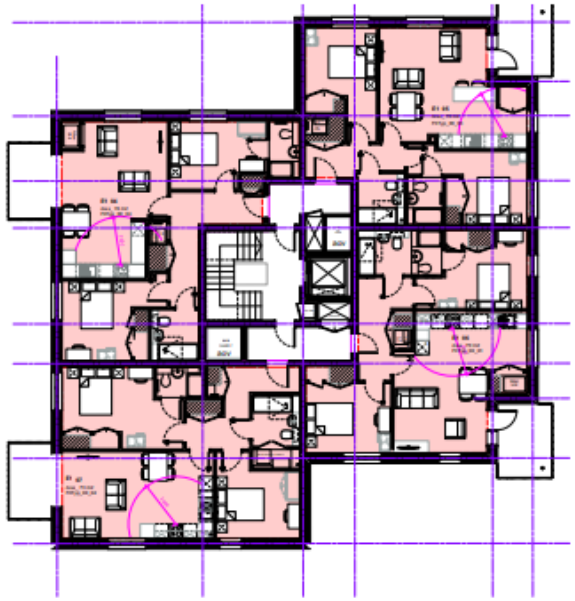

Fanshawe Road
Mole
2105
L_121
First Floor
Layout Plan
PLANNING
1:500 @ A3
14.07.23
PL4

Design Proposal

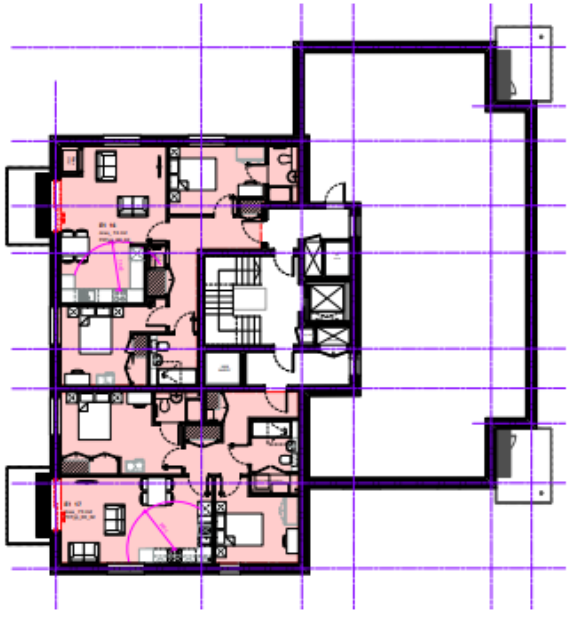
4.5 Form and Scale : E1



E1 Ground Floor Plan



E1 1st - 3rd Floor Plan



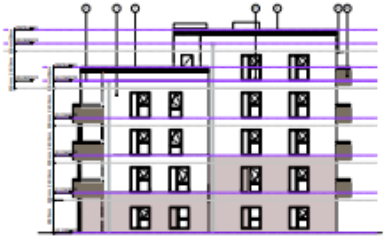
E1 4th Floor Plan

1B/2P Apartment

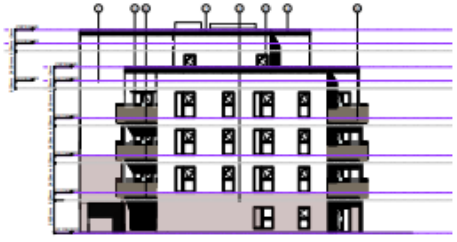
Bike store

2B/4P Apartment

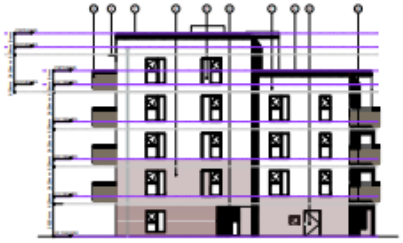
E1's entrance is recessed into the elevation and denoted by a glazed brick recess. The building has two recessed corner balconies to the east elevation to break up the scale of the building as perceived from the new E3 terraced houses. The building steps in height, going from four to five storeys. the five storey elements face the new park side. The height in the building steps with the step in plan.



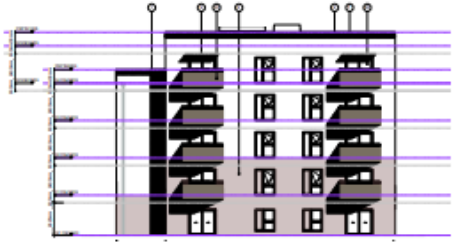
North Elevation



East Elevation



South Elevation

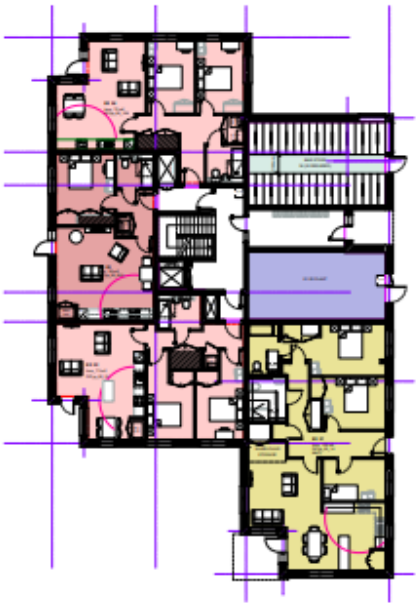


West Elevation

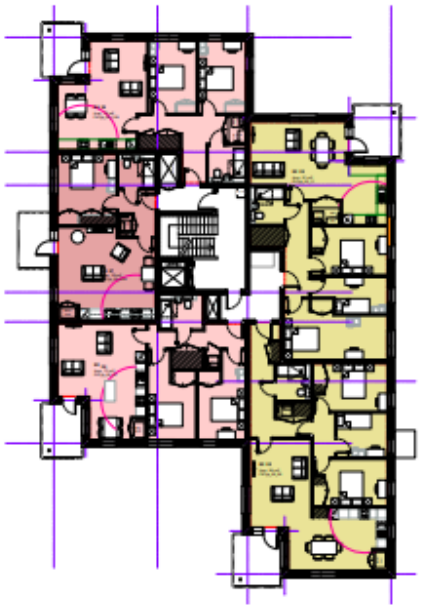
Design Proposal

4.5 Form and Scale : E2

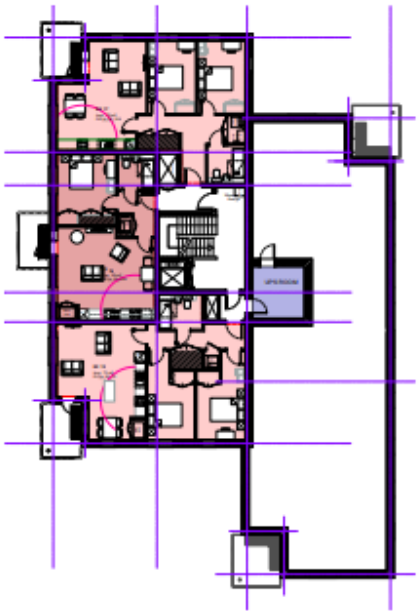
E2's entrance is recessed into the east elevation to activate the new street. The building is three and four storey in height. The building has four recessed corner balconies. The building steps in height to reduce the perceived mass of the building. The building has a four storey elevation to the new green space and three stories on the east side to provide a sensitive scale elevation to the adjacent existing houses.



E2 Ground Floor Plan

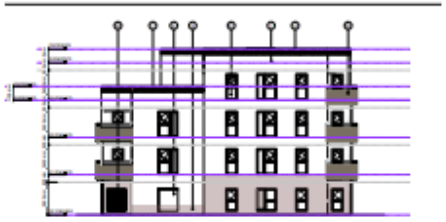


E2 1st - 2nd Floor Plan

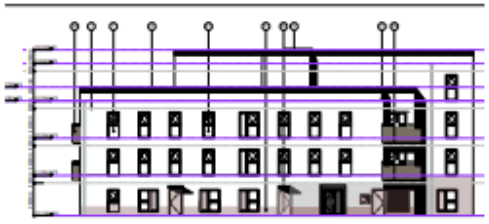


E2 3rd Floor Plan

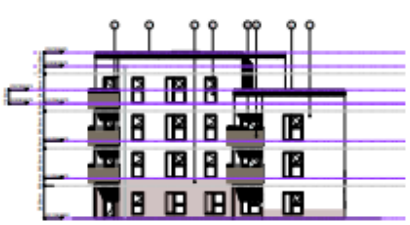
1B/2P Apartment
2B/4P Apartment
3B/5P Apartment
Bike store
Plant



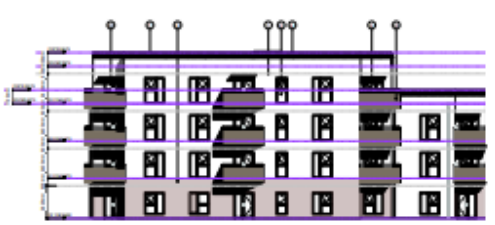
North Elevation



East Elevation



South Elevation



West Elevation

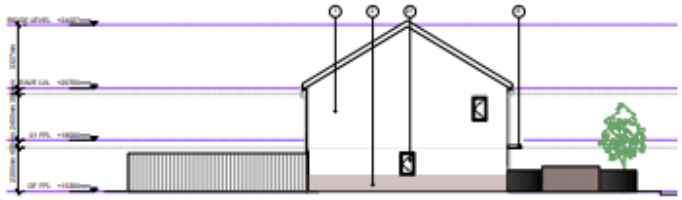
Design Proposal

4.5 Form and Scale : E3

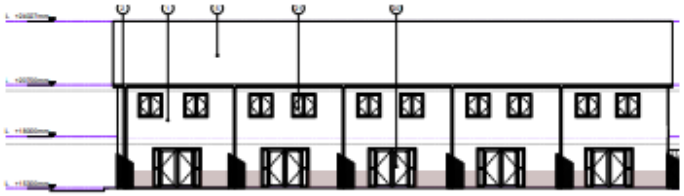
E3 is a row of five terrace homes. The west elevation provides passive overlooking of the recreation ground path. The homes are clad in white brick with a brown brick base. Brown brick banding around entrances denotes the main entrance and adds interest to the elevation. Window and door frames are in a matching red shade.

Bin stores are in timber clad strucutres to the front of the houses and provide space for covered cycle parking and a green bin. They also provide a location for the EV charging points on the side of the garden store.

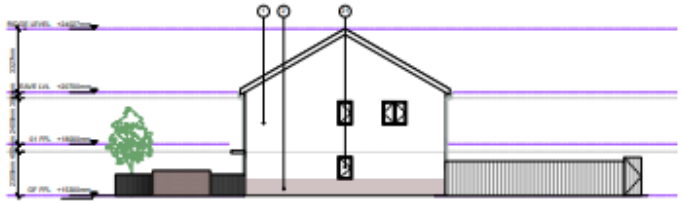
3B/5P House



South Elevation

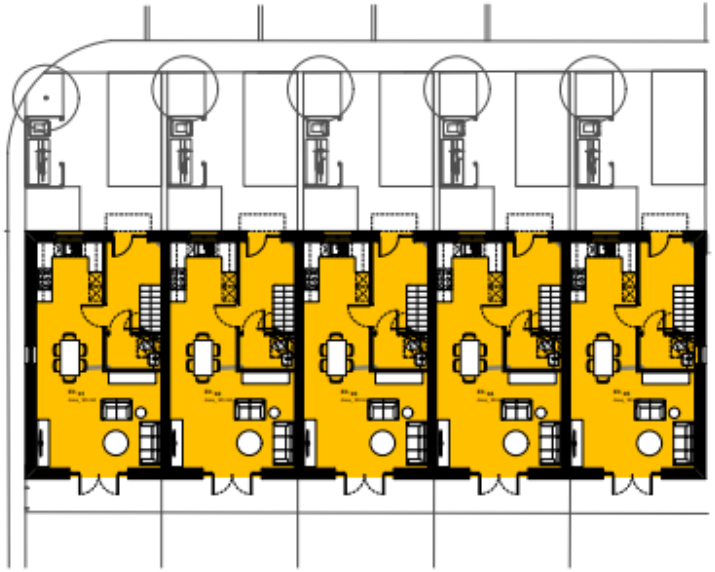


East Elevation

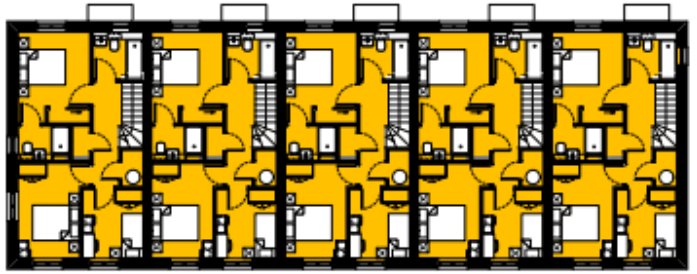


North Elevation

West Elevation



E3 Ground Floor Plan



E3 First Floor Plan

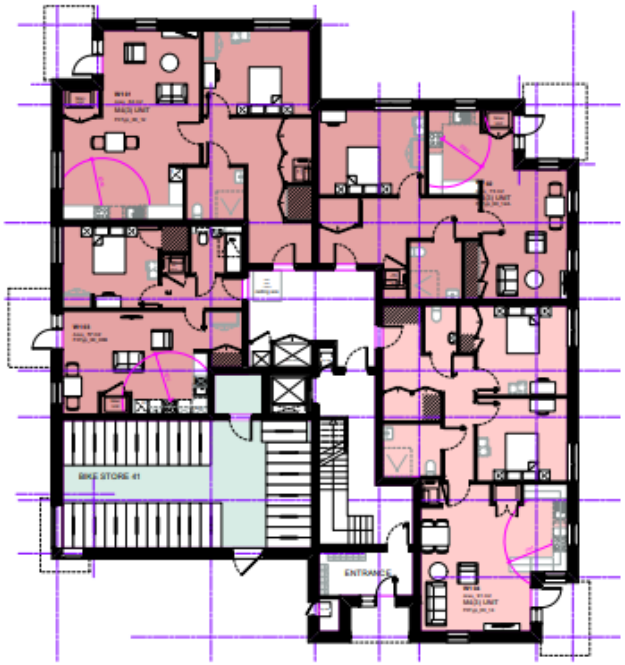
Design Proposal

4.5 Form and Scale : W1

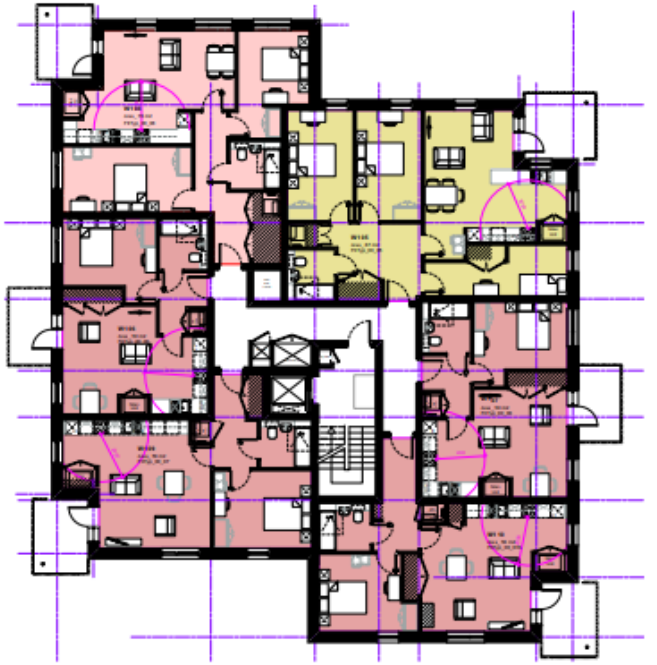
W1 entrance is recessed into the elevation and denoted by glazed brick recess. The building has recessed corner balconies , with the brick walls and balcony finishes all matching and contrasting in red to the main body of the building. A vertical change in the brick colour to the main body of the building creates visual interest and creates a visual break in the height of the building.

Unsupported cantilevered balconies are in a finish matching the corner balconies to create a consistent visual contrast to the main body of the building.

This approach to the external materials is consistent on all four apartment buildings to create a cohesive strategy across the scheme and create a tenure blind scheme.



W1 Ground Floor Plan

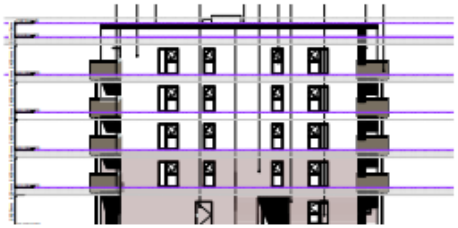


W1 1st - 4th Floor Plan

1B/2P Apartment
2B/4P Apartment
3B/5P Apartment
Bike store
Plant

North Elevation

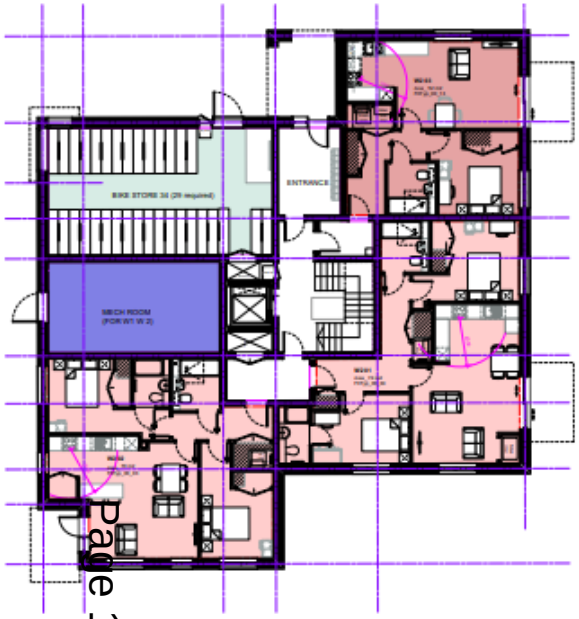
East Elevation



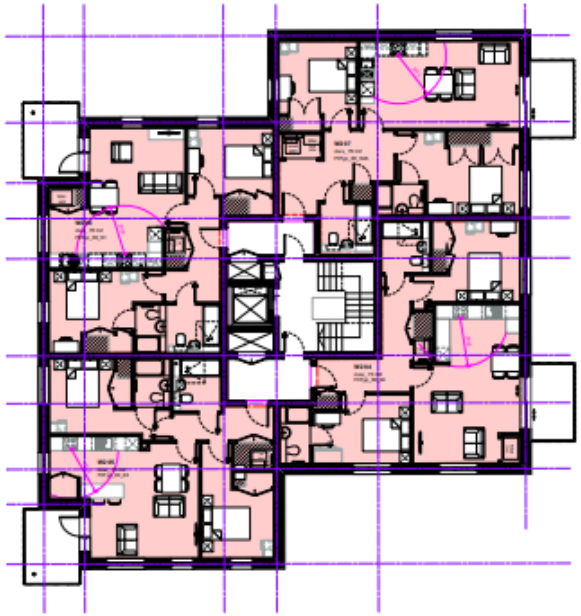
South Elevation

West Elevation

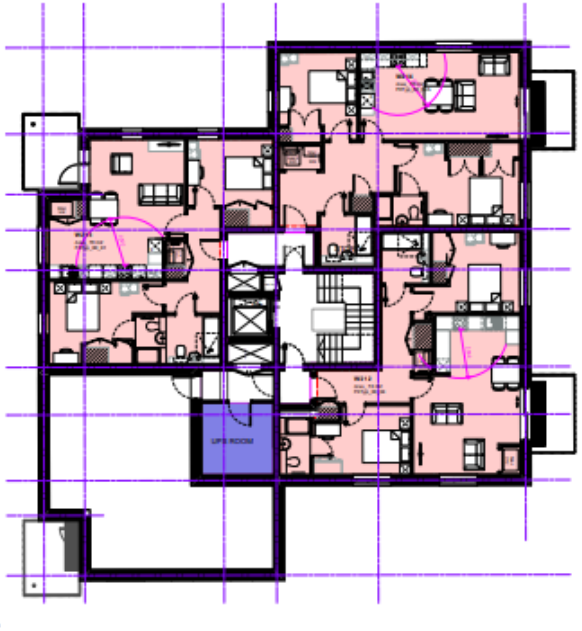
4.5 Form and Scale : W2



W2 Ground Floor Plan



W2 1st - 2nd Floor Plan



W2 3rd Floor Plan

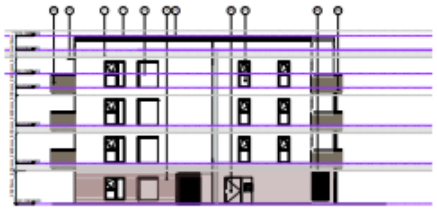
1B/2P Apartment

2B/4P Apartment

Bike store

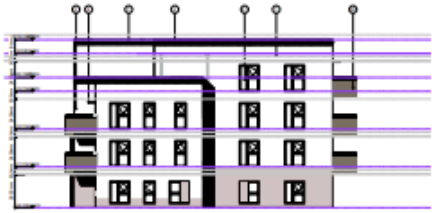
Plant

W2's entrance is recessed into the elevation and denoted as a glazed brick recess. The building has two recessed corner balconies to the west elevation to break up the scale of the building. The building steps in height on the west and south elevations which are the most sensitive elevations facing onto the new terraced houses and onto Fanshawe road.

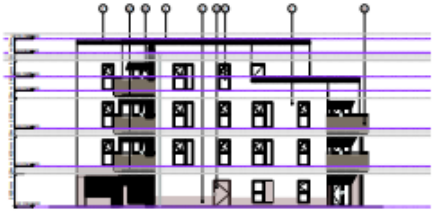


North Elevation

East Elevation



South Elevation



West Elevation

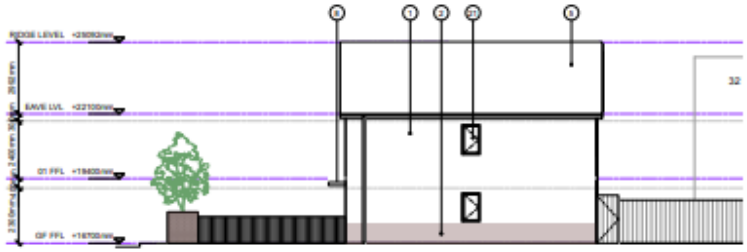
Design Proposal

4.5 Form and Scale : W3

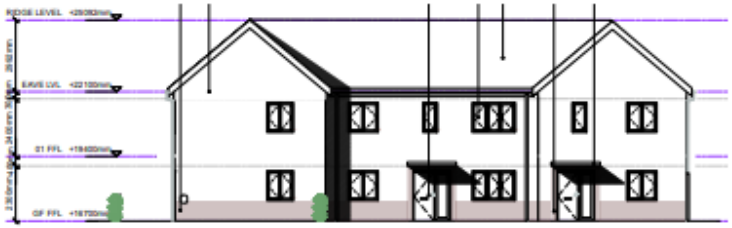
W3 is a row of three terraced houses. The gable ends bookend the central house to provide visual interest and provide a front elevations to the east and south. The main body of the building is white brick with a red brick base. Red brick banding around entrances denotes the main entrance and adds interest to the elevation. Window and door frames are in a matching red.

Bin stores are in a matching red brick to the front of the houses and provide space for covered cycle parking and a green bin. They also provide a location for the EV charging points on the side of the garden store.

3B/5P House



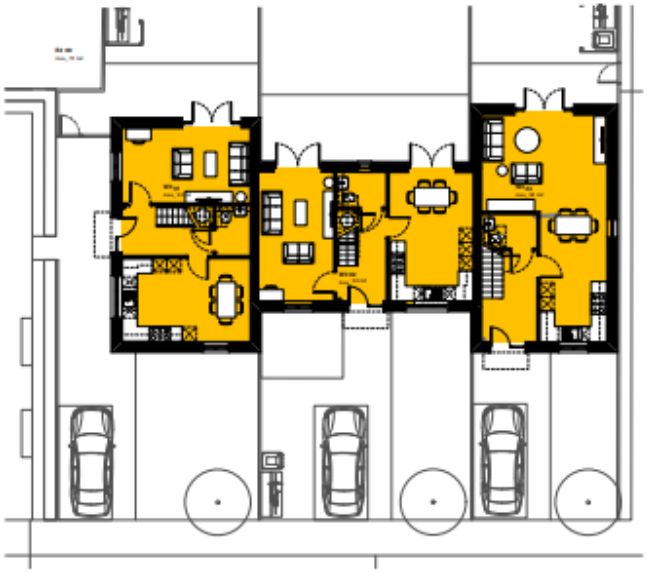
North Elevation



East Elevation

South Elevation

West Elevation



W3 Ground Floor Plan

W3 First Floor Plan


KEY
Works Boundary
Existing trees to be retained
Root Protection Area
Trees to be removed
PLANTING
P1 Defensible planting
P2 Wildflower turf
P3 Perennial planting
P4 Mown grass
P5 Food growing plant
P6 Rain garden
P7 Native hedgerow
TREES
T1 Street tree
T2 Feature tree
T3 Small tree
Hill Group
Fanshawe Road Cambridge
Planting GA
For Planning
TM520-LA106

Design Proposal

4.6 Materiality - Apartments

1:
Parapet Detail.

2:
Balcony railings panel Detail.

3:
Pale white brick with off-white mortar joints.

4:
Dark brown bricks with white mortar joints.

5:
Champagne metalwork and vent panels

6:
Example of protruding brick banding entrance areas.

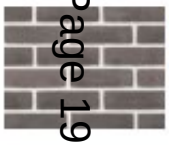
Design Proposal

4.6 Materiality - Houses

1:
Grey roof tiles

2:
Example of protruding brick banding entrance areas.

3:
Pale white brick with off-white mortar joints.



4:
Dark brown bricks with white mortar joints.

Design Proposal

4.6 Materiality - Windows and Balconies

2. Champaigne coloured Windows within darker brick areas & Balcony Metalwork

1. Brown/ black Window frames

Windows and doors are darlk brown/ black. Rainwater goods and parapet trims will be a matching light grey.

Balconies are steelwork structures with metal handrails. Only corner balconies will have circular posts. Circular posts will be same colour as the balconies. Balustrades are metal balustrades with solid panels having a metal powder coat finish panel. This retains a sense of enclosure when one is seated on the balcony.

We propose a sample selection of the colours for windows and rainwater goods.

Technical Detail

6.1 Accessibility M4(3)

All homes in the proposal are designed to meet Building Regulations AD M4(2) Accessible and Adaptable dwelling standard, which means all homes are accessible to any visitors using wheelchairs.

Four of the homes are designed to meet Building Regulations AD M4(3) Wheelchair use dwelling standard. This means that anyone using a wheelchair is able to live in these flats.

The drawings on the right show how the design of a wheelchair occupied 1B2P flat and a 2B4P flat would meet the M4(3) AD standards such as:

- Minimum corridor widths with minimum clear opening width of doors, including 300mm nibs to leading edges and 200mm to the following edge.

- Clear access zones in each room with furniture as required within AD M4(3) Appendix D.

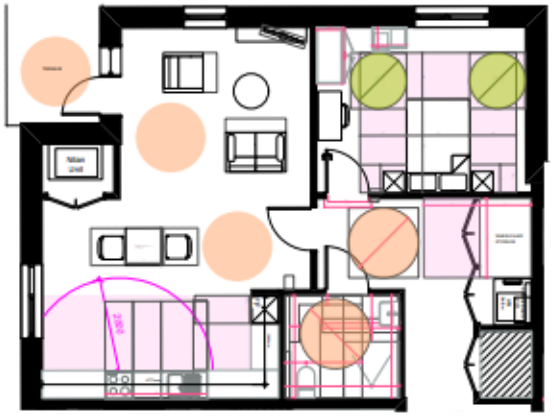
- Bathroom size and layout designed as example set within AD M4(3).

- Wheelchair storage in the hallway.

- Wheelchair accessible bathroom and second WC.

- Storage sizes as per M4(3) Standards and space standards

- Minimum combined floor area for living dining and kitchen space



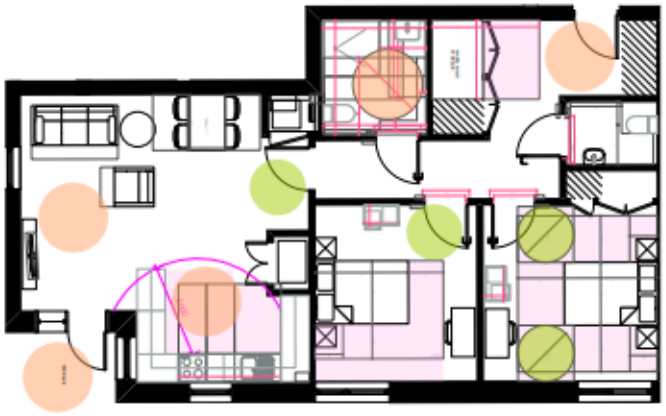
	GIA (S.M.)	Storage (S.M)
GF	84	1.6
FF	0	0
SF	0	0
TOTAL	84	1.6
NDSS	50	1.5
Part M category:		M4(3)

1200 mm turning circle

1500 mm turning circle

Space requirement clear zone

Storage



	GIA (S.M.)	Storage (S.M)
GF	91	2.6
FF	0	0
SF	0	0
TOTAL	91	2.6
NDSS	70	2
Part M category:		M4(3)

1200 mm turning circle

1500 mm turning circle

Space requirement clear zone

Storage

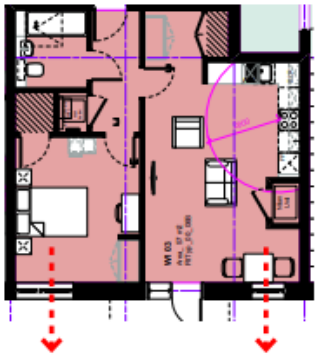
Technical Detail

6.2 Apartment Aspects

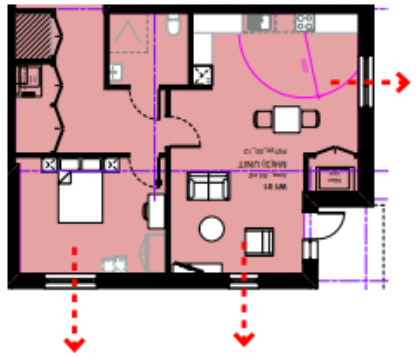
Right is a schedule of the homes on site and a definition of whether they are a single , dual , enhanced dual aspect or triple aspect homes. A dual aspect home is a home that provides openings on two external wall faces. An enhanced dual aspect definition is a home that provides openings on two external wall faces which are opposite each other/ provides through ventilation of spaces.

Overall the scheme has just 13 single aspect homes with 85% of the scheme being dual aspect or better.

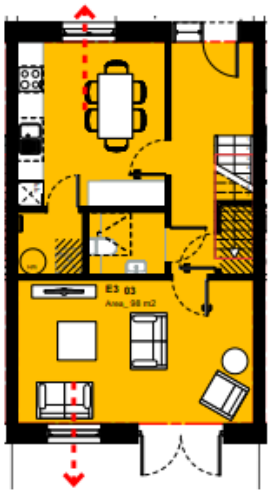
Note plans are not to scale.



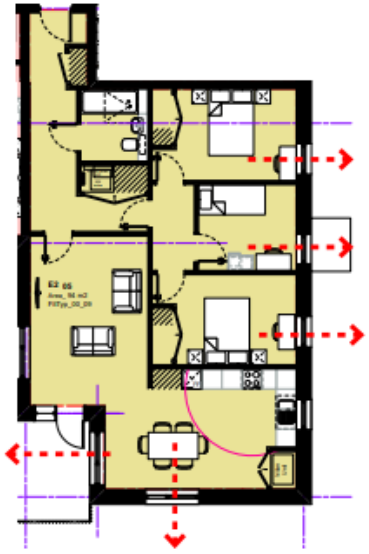
Example of a Single Aspect Apt.



Example of a Dual Aspect Apt.



Example of an enhanced Dual Aspect Home



Example of a triple aspect Apt.

W1	1B2P	2B4P	3B5P	Total
Single Aspect	9			9
Dual Aspect	10	5	4	19
Enhanced Dual Aspect				0
Triple Aspect				0
Total	19	5	4	28

W2	1B2P	2B4P	3B5P	Total
Single Aspect				0
Dual Aspect	1	10		11
Enhanced Dual Aspect				0
Triple Aspect		3		3
Total	1	13	0	14

W3	1B2P	2B4P	3B5P	Total
Single Aspect				0
Dual Aspect				0
Enhanced Dual Aspect			1	1
Triple Aspect			2	2
Total	0	0	3	3

E1	1B2P	2B4P	3B5P	Total
Single Aspect				0
Dual Aspect	1	12		13
Enhanced Dual Aspect				0
Triple Aspect		4		4
Total	1	16	0	17

E2	1B2P	2B4P	3B5P	Total
Single Aspect	4			4
Dual Aspect		4	2	6
Enhanced Dual Aspect				0
Triple Aspect		4	3	7
Total	4	8	5	17

E3	1B2P	2B4P	3B5P	Total
Single Aspect				0
Dual Aspect				0
Enhanced Dual Aspect			3	3
Triple Aspect			2	2
Total	0	0	5	5

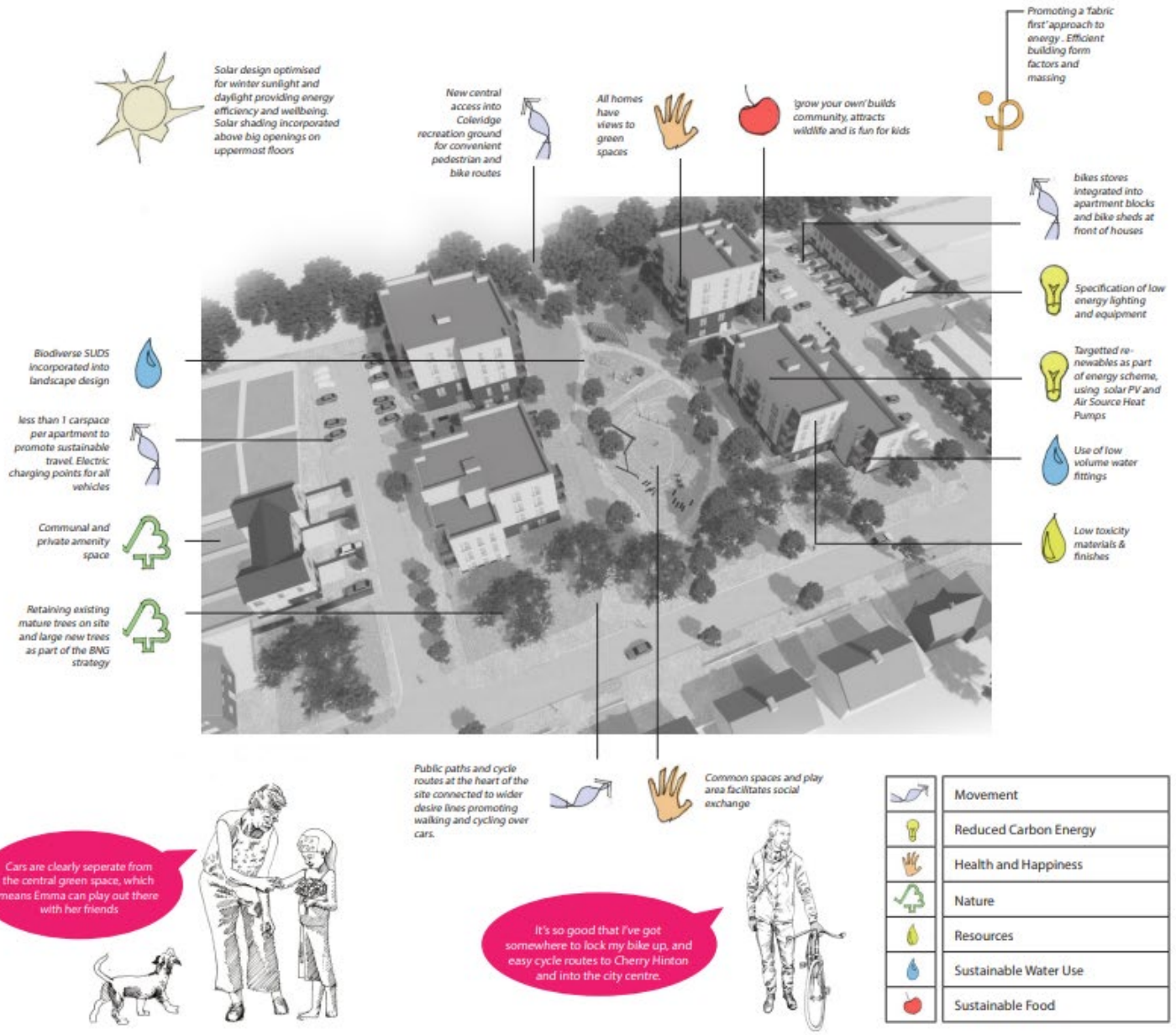
	Total	%
Single Aspect	13	15.5
Dual Aspect	49	58.3
Enhanced Dual Aspect	4	4.8
Triple Aspect	18	21.4
Total	84	100

Technical Detail

6.3 Sustainability

The proposed development encourages residents to lead more sustainable lives and has also integrated measures designed to reduce energy demand. Targets from the Cambridge Sustainable Housing Design Guide 2021 have informed the sustainable approach for the scheme.

- Affordable homes designed using PassivHaus principles.
- Fabric first approach to the scheme. Affordable homes heated by compact units and air source heat pumps.
- No natural gas supply, fully electric scheme.
- Ventilation strategy provides secure ventilation through louvered windows at ground level.
- Solar shading to top floor openings & balcony overhangs provide shading to glazed doors.
- Green roofs on apartment buildings will assist with rainwater attenuation and the biodiversity.
- Cycle parking has been given priority over car parking.
- Underground bins provided which require less pick-uos reducing the carbon footprint.
- Less than 1 car space per apartment to promote sustainable travel. Car parking bays located away from the centre of the site to promote bike and pedestrian travel. All carspaces have EV charging.
- Lower water consumption targeting 99 litres per person per day.
- A SUDS strategy has been integrated into the landscape design.
- Medium and mature tree types have been selected to provide varied trees to the new green space. Site layout aims to maximise existing tree retention.
- Food growing areas will be provided to new residents in raised beds and an area of wildlife planting will be integrated into the landscape design.
- Targeting +20% biodiversity net gain on the site.
- Durable, attractive external materials have been specified to ensure the buildings age gracefully with minimal maintenance requirement.



6.5 Private Amenity Space

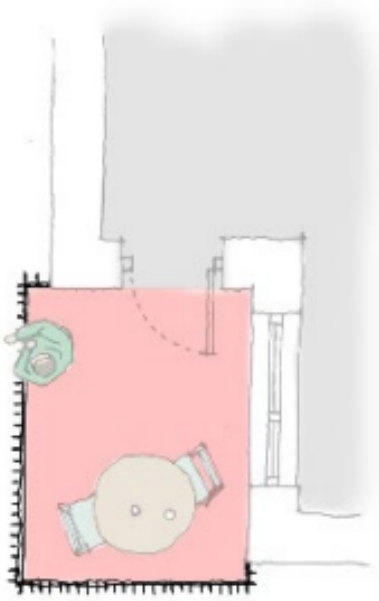
Apartment balcony sizes meet the following areas :
1bed 2 person apartments - 5m2 balcony
2bed 4 person apartments - 7m2 balcony
3bed 5 person apartments - 8m2 balcony

These provides amenity space for dining table and or seating on balconies.

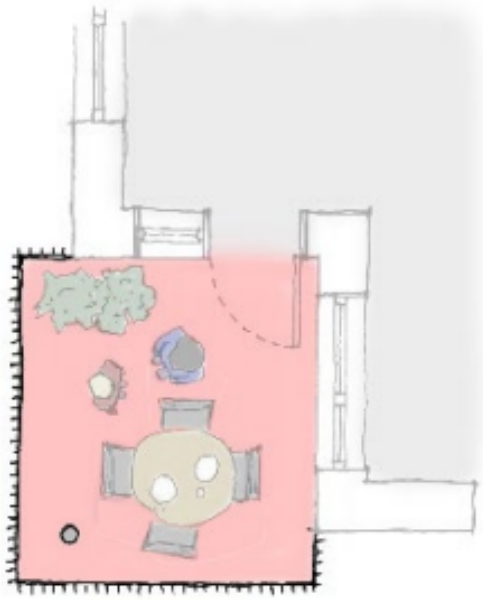
Ground floor apartment gardens are appropriately sized for the number of occupants in apartments. Refer to the landscape design plan for reference.

House amenity spaces
Each house has external amenity space to the front and rear of the house. Each front garden is provided with a tree and storage. Each house also has one on plot car parking space with ev charge point for the vehicle.

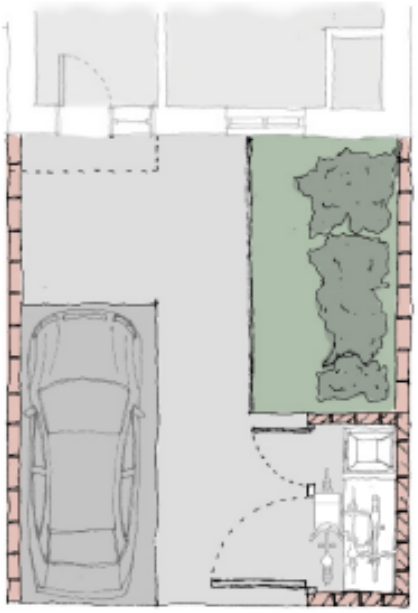
Rear gardens length are typically 8 metres long on E3 and 18metres long for W3 plus lane access to the rear of the gardens.



Example of 5m2 Balcony



Example of 8m2 Balcony



Example of private amenity space outside houses

TENURE	BUILDING	1B2P	2B4P	3B5P	TOTAL
AFFORDABLE	W1	19	5	4	28
MARKET	W2	1	13		14
MARKET	W3			3	3
MARKET	E1	1	16		17
AFFORDABLE	E2	4	8	5	17
MARKET	E3			5	5
	TOTAL	25	42	17	84
	OVERALL SPLIT	30%	50%	20%	
	Affordable Split	23	13	9	45
		51%	29%	20%	
	Market Split	2	29	8	39
		5%	74%	21%	

SUMMARRY AREA SCHEDULE			
Type	m2 Size (NPPF)	Market	Affordable Units No.
1B2P	50	2	23
2B4P	70	29	13
3B5P (APARTMENT)	86	0	9
3B5P (HOUSES)	97	8	0
Total		39	45
Total Affd M4 (3)	4 (2.25 required)		
Total Bike Spaces Req.	160		
Total Car Spaces Req.	50.5		
Total GIA (m2)	3744.4		
Total Dual aspect	85%		

Design Proposal

4.3 Street View - Fanshawe Road looking west

VP16

Fanshawe Rd

VP16. Before

VP16

Fanshawe Rd

VP16. Full Colour

VP15

Sterne Close

VP15. Before

VP15

Sterne Close

VP15. Full Colour

VP14

Bancroft Close

VP14. Before

VP14

Bancroft Close

VP14, Full Colour

VP05

Coleridge Recreation Ground

VP05. Before

VP05

Coleridge Recreation Ground

VP05. Full Colour

23/03653/S73- Aylesborough Close

Section 73 to vary condition 2 (approved drawings) to amend the approved refuse strategy of ref: 22/01995/FUL.

Blocks A and C - Ground Floor Plan

Blocks A and C - First Floor Plan

Key Plan

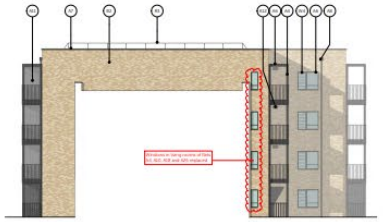
Block A - Proposed North Elevation

Block C - Proposed South Elevation

Block C - Proposed North Elevation

Block C - Proposed East Elevation

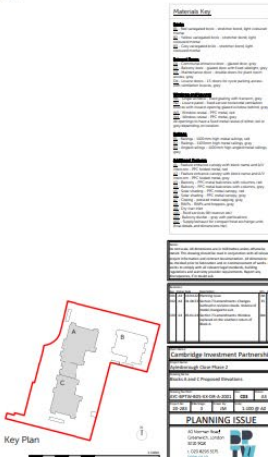
Block A - Proposed East Elevation



Block A - Proposed South Elevation

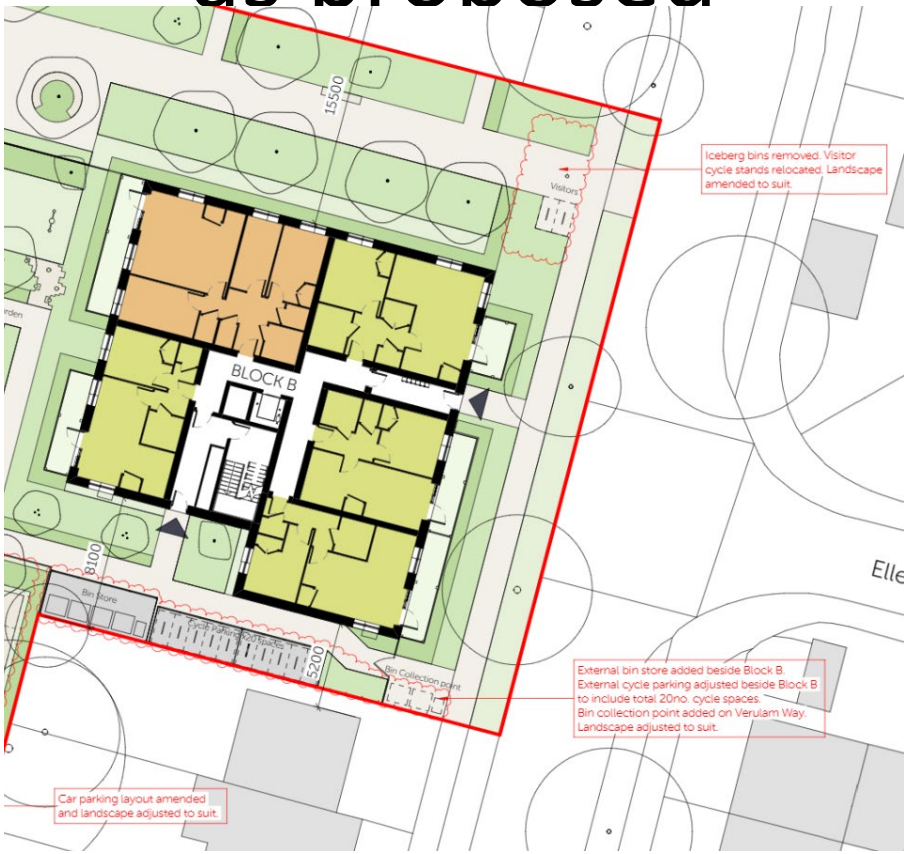
Block A - Proposed West Elevation

Block C - Proposed West Elevation



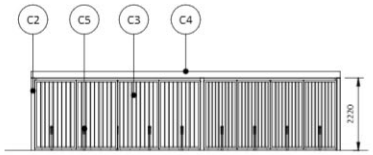
Block A & C – Bin store and cycle parking as proposed

Block B – Bin store and cycle parking as proposed

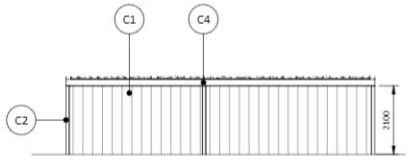


External cycle store to serve block A

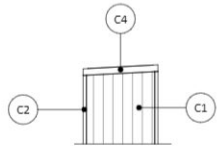
Block A Cycle Parking - Plan



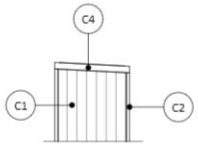
Front Elevation (West)



Rear Elevation (East)



Side Elevation (North)

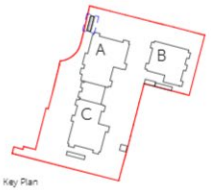


Side Elevation (South)

Materials Key

Cycle Storage Unit

C1 - Timber cladding
C2 - Steel frame construction
C3 - Metal gates with fob entry, soft close
C4 - Green roof with slight pitch
C5 - Sheffield stands, fixed into the ground



Key Plan

Notes:
Do not scale. All dimensions are in millimetres unless otherwise stated. This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty provider requirements. Report any discrepancies, if in doubt ask.

Revisions:

Rev	Status	Date	Description	Drn	Chkd
C01	A3	08.12.23	New drawing to suit Section 73 Amendments. External cycle store for Block A added to provide 8no. sheffield stands with total 16no. cycle spaces.	ES	

Client Name:
Cambridge Investment Partnership

Project Name:
Aylesborough Close Phase 2

Drawing Name:
External Cycle Parking Proposed Plans & Elevations (Block A)

Drawing Number:	Rev:	Status:
AYC-BPTW-S04-XX-DR-A-1010	C01	A3

Project No:	RIBA Stage:	Drawn By:	Scale:
20-283	3	ES	1:100 @ A3

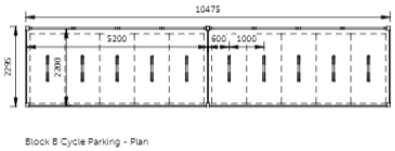
PLANNING ISSUE

40 Norman Road,
Greenwich, London
SE10 9QX
t. 020 8293 5175
bptw.co.uk

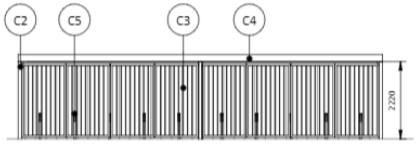
N

1:100m
0 1 5 10

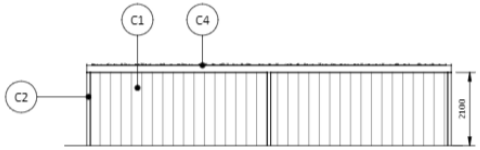
External cycle store to serve block B



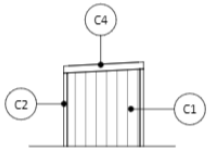
Block B Cycle Parking - Plan



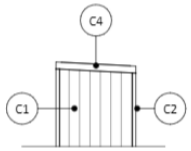
Front Elevation (North)



Rear Elevation (South)



Side Elevation (East)

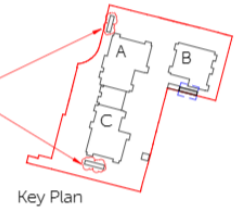


Side Elevation (West)

Materials Key

Cycle Storage Unit
C1 - Timber cladding
C2 - Steel frame construction
C3 - Metal gates with fob entry, soft close
C4 - Green roof with slight pitch
C5 - Sheffield stands, fixed into the ground

Key plan updated to suit cycle space capacity amendments.



Key Plan

Notes:
Do not scale. All dimensions are in millimetres unless otherwise stated. This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty provider requirements. Report any discrepancies, if in doubt ask.

Revisions:

Rev	Status	Date	Description	Drn	Chkd
C01	A3	13.04.23	Planning issue	JM	
C02	A3	31.08.23	Section 73 Amendments. Volume of model changed to suit. Capacity of cycle store amended. Key plan amended.	ES	
C03	A3	08.12.23	Section 73 Amendments. Double-stacked cycle spaces removed from internal cycle store and replaced with sheffield stands. Key plan amended.	ES	

Client Name: Cambridge Investment Partnership

Project Name: Aylesborough Close Phase 2

Drawing Name: External Cycle Parking Proposed Plans & Elevations (Block B)

Drawing Number:	Rev:	Status:
AYC-BPTW-S04-XX-DR-A-1007	C03	A3

Project No:	RIBA Stage:	Drawn By:	Scale:
20-283	3	LL	1:100 @ A3

PLANNING ISSUE

40 Norman Road,
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SE10 9QX
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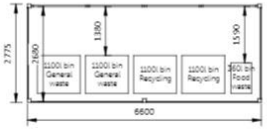
bptw.co.uk

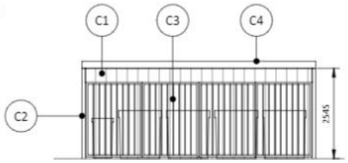
N

1:100m
0 1 5 10

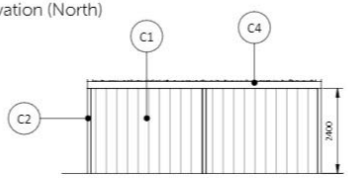
External refuse store to serve block B



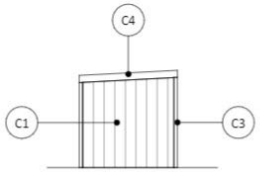
Floor Plan



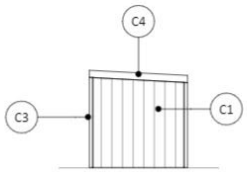
Front Elevation (North)



Rear Elevation (South)



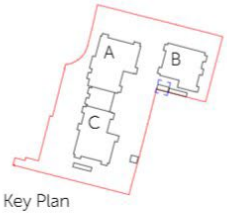
Side Elevation (East)



Side Elevation (West)

Materials Key

Bin Store
C1 - Timber cladding
C2 - Steel frame construction
C3 - Metal gates with fob entry, soft close
C4 - Green roof with slight pitch



Key Plan

Notes:
Do not scale. All dimensions are in millimetres unless otherwise stated. This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty provider requirements. Report any discrepancies, if in doubt ask.

Revisions:

Rev	Status	Date	Description	Drn	Chkd
C01	A3	31.08.23	New drawing for section 73 amendments.	ES	

Client Name: Cambridge Investment Partnership

Project Name: Aylesborough Close Phase 2

Drawing Name: External Bin Store - Proposed Plans and Elevations

Drawing Number:	Rev:	Status:
AYC-BPTW-504-XX-DR-A-1009	C01	A3

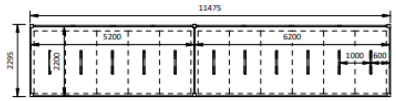
Project No:	RIBA Stage:	Drawn By:	Scale:
20-283	3	ES	1:100 @ A3

PLANNING ISSUE

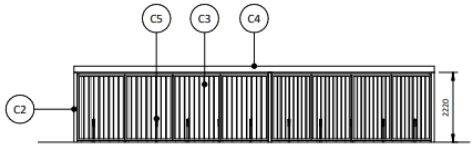
40 Norman Road,
Greenwich, London
SE10 9QX

N

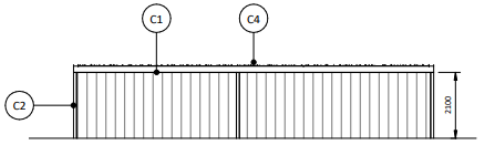
External cycle store to serve block C



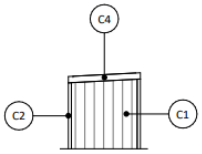
Block C Cycle Parking - Plan



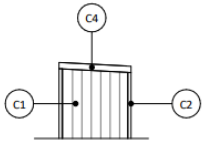
Front Elevation (North)



Rear Elevation (South)



Side Elevation (East)

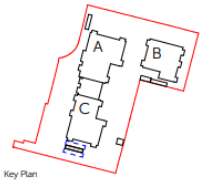


Side Elevation (West)

Materials Key

Cycle Storage Unit

C1 - Timber cladding
C2 - Steel frame construction
C3 - Metal gates with fob entry, soft close
C4 - Green roof with slight pitch
C5 - Sheffield stands, fixed into the ground



Key Plan

Notes:
Do not scale. All dimensions are in millimetres unless otherwise stated. This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty provider requirements. Report any discrepancies, if in doubt ask.

Revisions:

Rev	Status	Date	Description	Drn	Chkd
C01	A3	08.12.23	New drawing to suit Section 73 Amendments. External cycle store for Block C added to provide 11no. sheffield stands with total 22no. cycle spaces.	ES	

Client Name: Cambridge Investment Partnership

Project Name: Aylesborough Close Phase 2

Drawing Name: External Cycle Parking Proposed Plans & Elevations (Block C)

Drawing Number	Rev:	Status:
AYC-BPTW-S04-XX-DR-A-1011	C01	A3

Project No:	RIBA Stage:	Drawn By:	Scale:
20-283	3	ES	1:100 @ A3

PLANNING ISSUE

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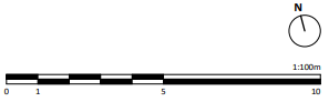
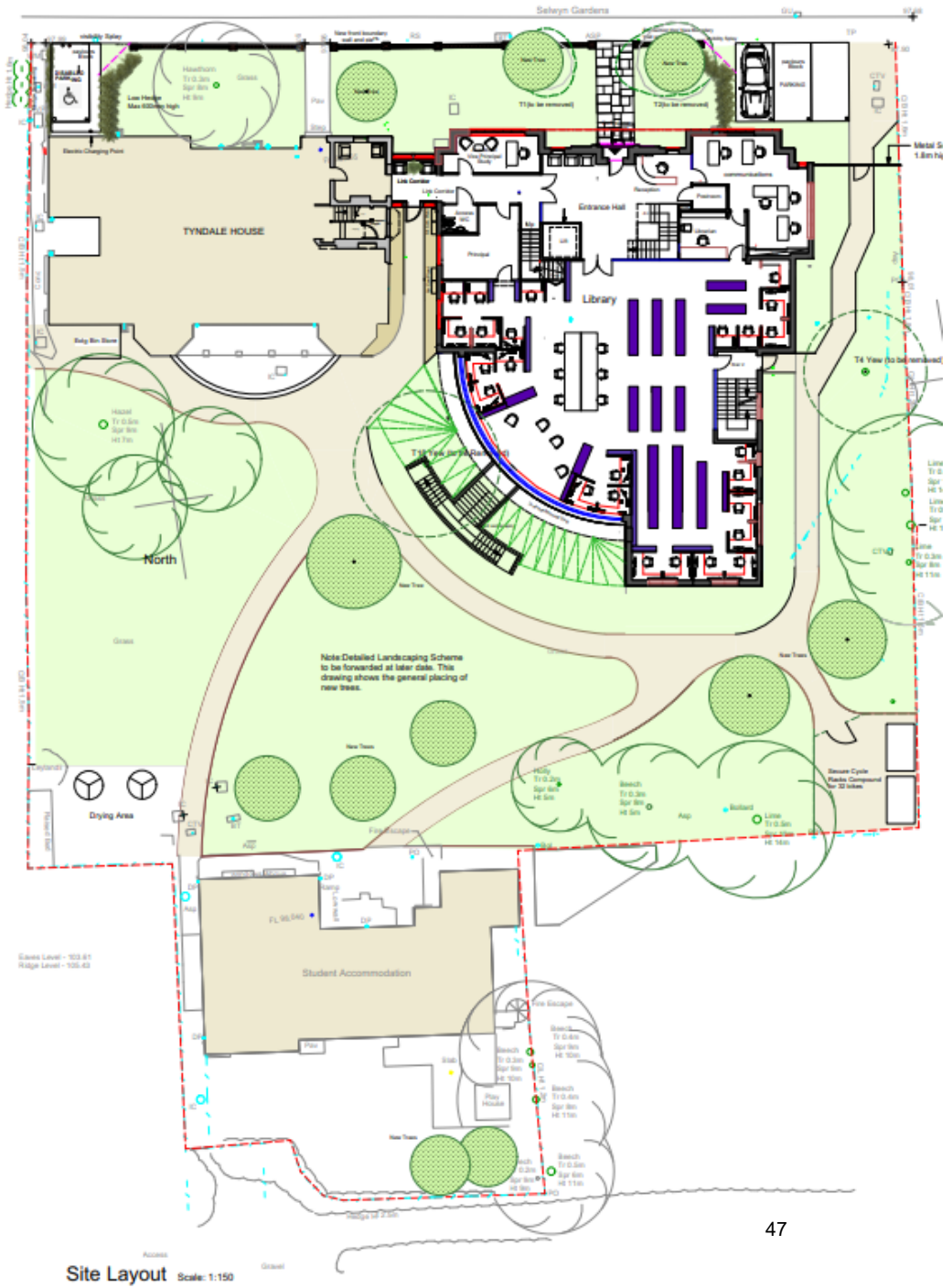


23/03519/FUL
Tyndale House
Site Location Plan

Proposed Site Plan



Proposed Street Scene

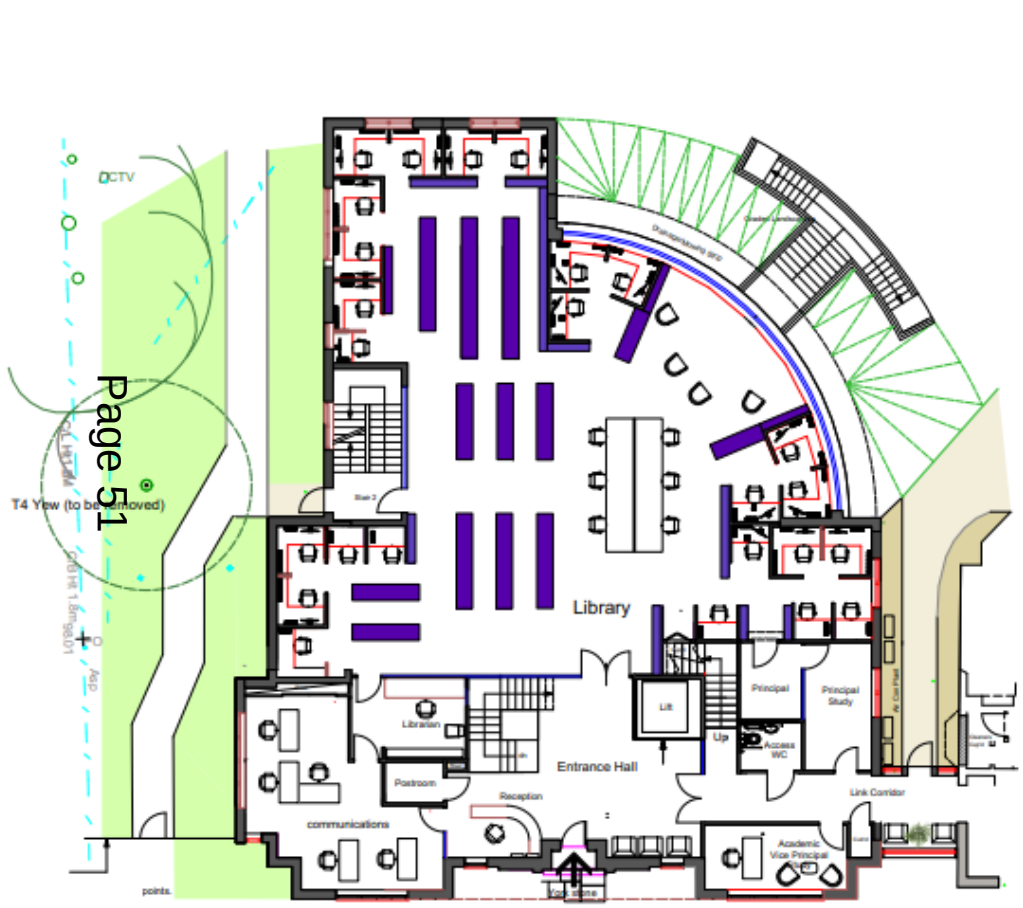
Proposed Front (North) and Rear (South) Elevations

1 Proposed Front Elevation (North)
1:100

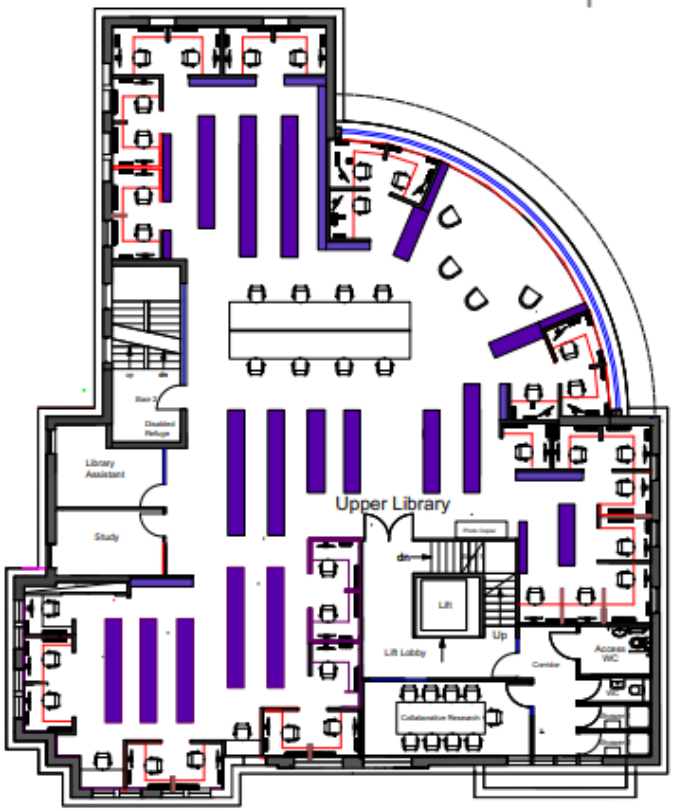
2 Proposed Rear Elevation (South)
1:100

Proposed Side (West and East) Elevations

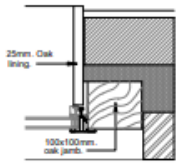
Proposed Ground and First Floor Plans



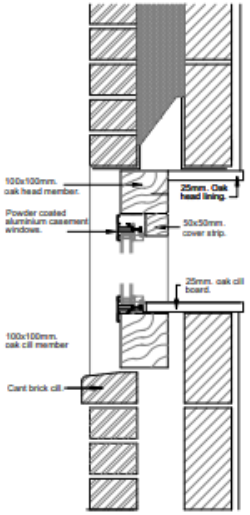
Ground Floor Plan



First Floor Plan



DETAIL AT JAMB.
SCALE 1:5



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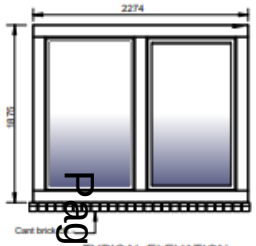
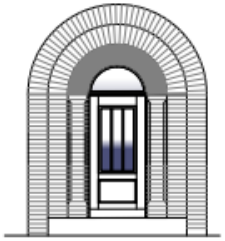
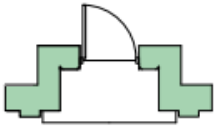


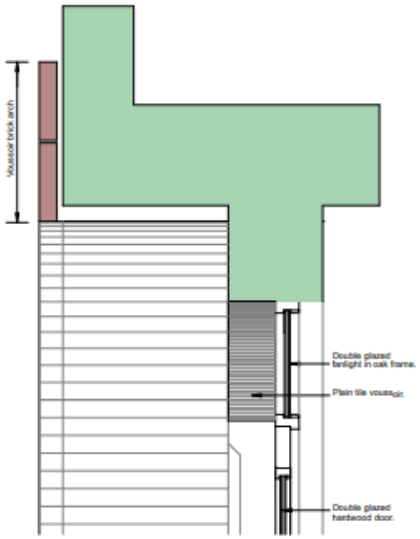
TYPICAL ELEVATION
OF CASEMENT WINDOW
SCALE 1:20

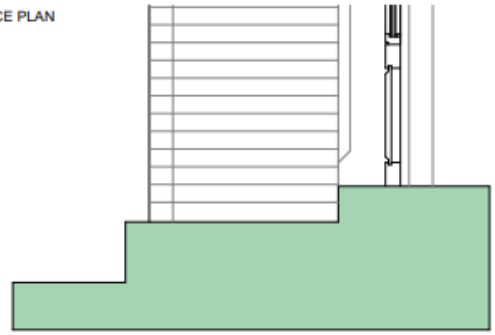


MAIN ENTRANCE ELEVATION
SCALE 1:20

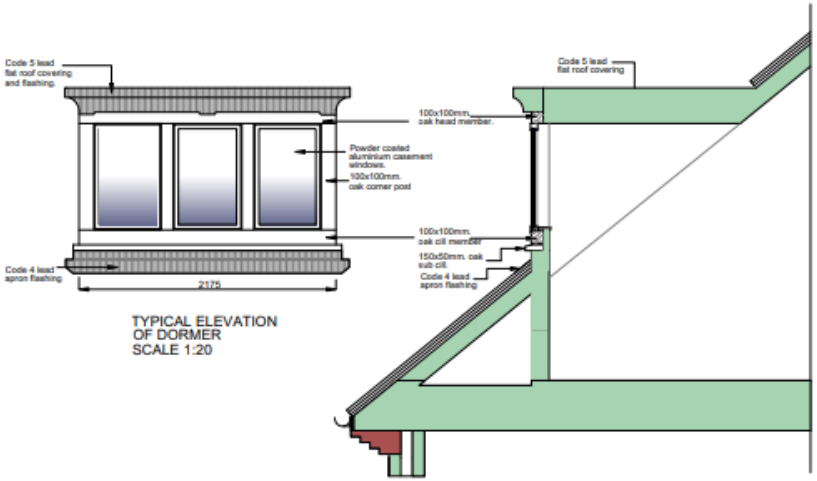


MAIN ENTRANCE PLAN
SCALE 1:20



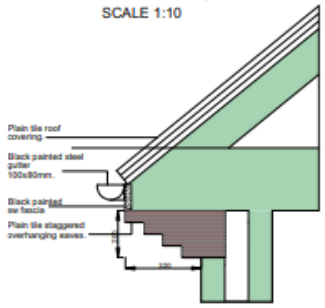


SECTION THROUGH
MAIN ENTRANCE
SCALE 1:10



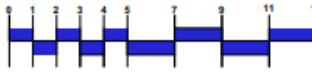
TYPICAL ELEVATION
OF DORMER
SCALE 1:20

TYPICAL SECTION
THROUGH DORMER
SCALE 1:20



TYPICAL SECTION
THROUGH EAVES

Revisions Date:



Scale Bar 1:100 @ A1

Tyndale House
36 Selwyn Gardens
Cambridge
CB3 9BA

Date: April 2020 Scale: Various Drawn: TP

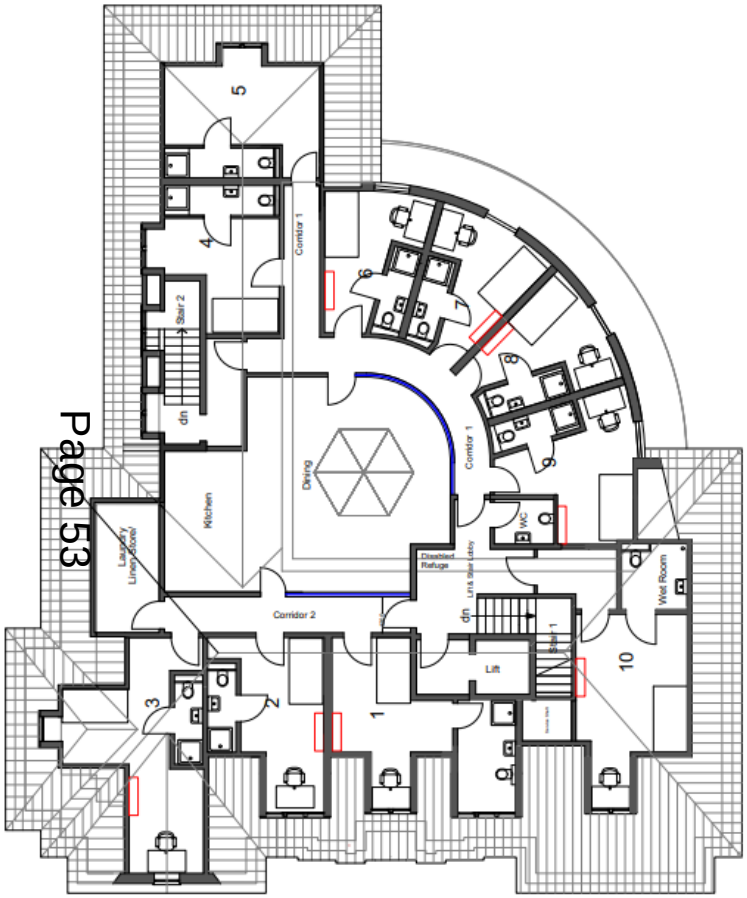
Drawing Number: Th 201 72

Project Title:

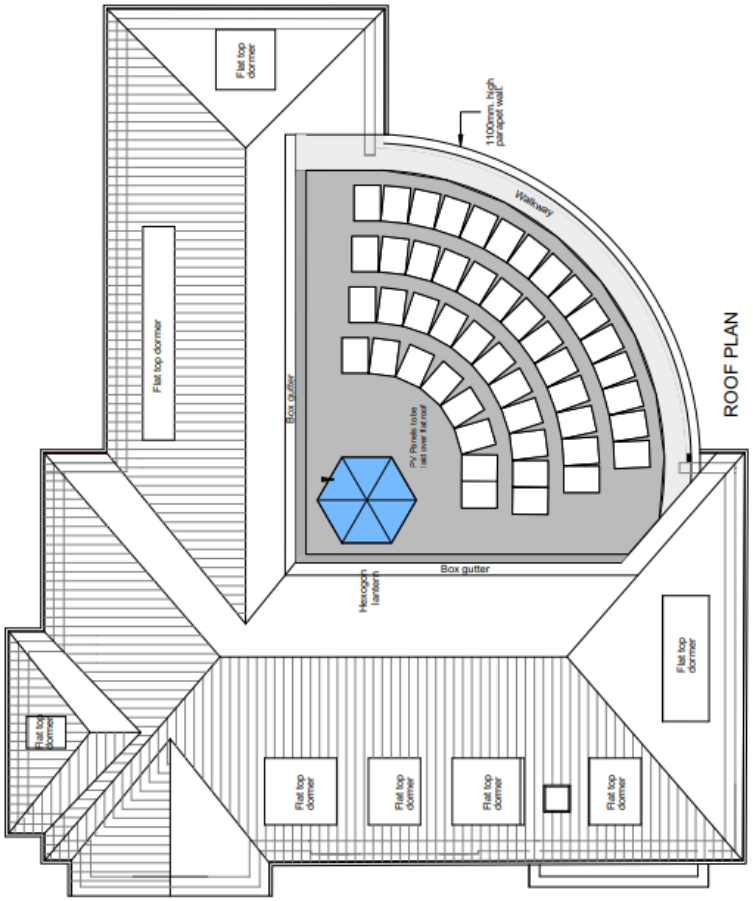
Drawing Title:
DETAILS
Dormer Window
Eaves
Main Entrance
Casement Window

PW
Architectural Drawing/Design Services

14, Boursland Close
Bradley Stoke



Second Floor Plan



Roof Plan

Page 55

North Elevation on Selwyn Gardens

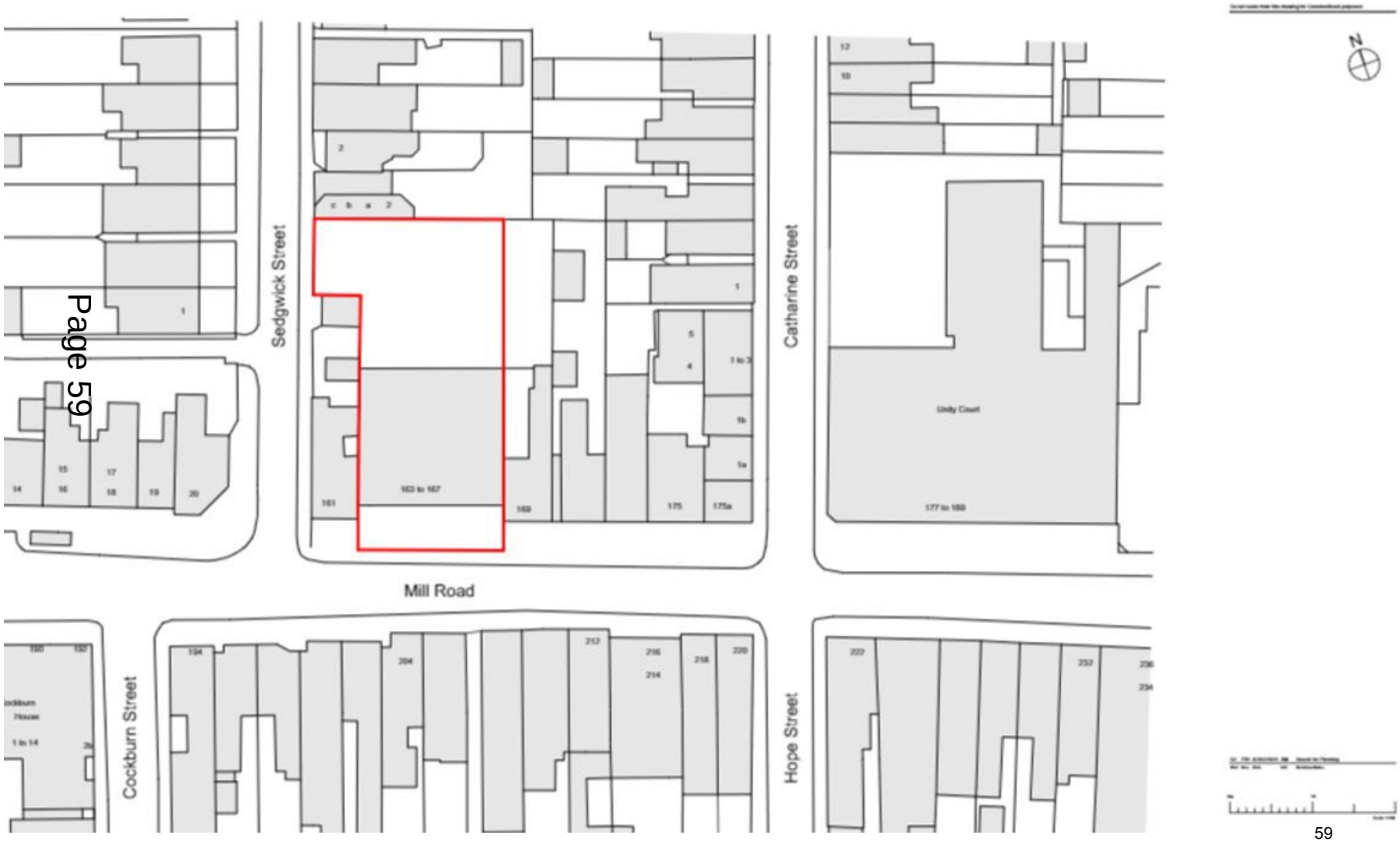
Proposed South West Elevation of New Library for Tyndale House 36, Selwyn Gardens Cambridge

Minor Applications

23/03068/FUL
163 – 167 Mill Road

Refurbishment of the building including internal slab openings with steel framing, roof replacement, new plant, substation, external alterations and temporary removal of shopfront to facilitate MRI installation (first phase).

Location Plan



Site Constraints Map

Aerial View

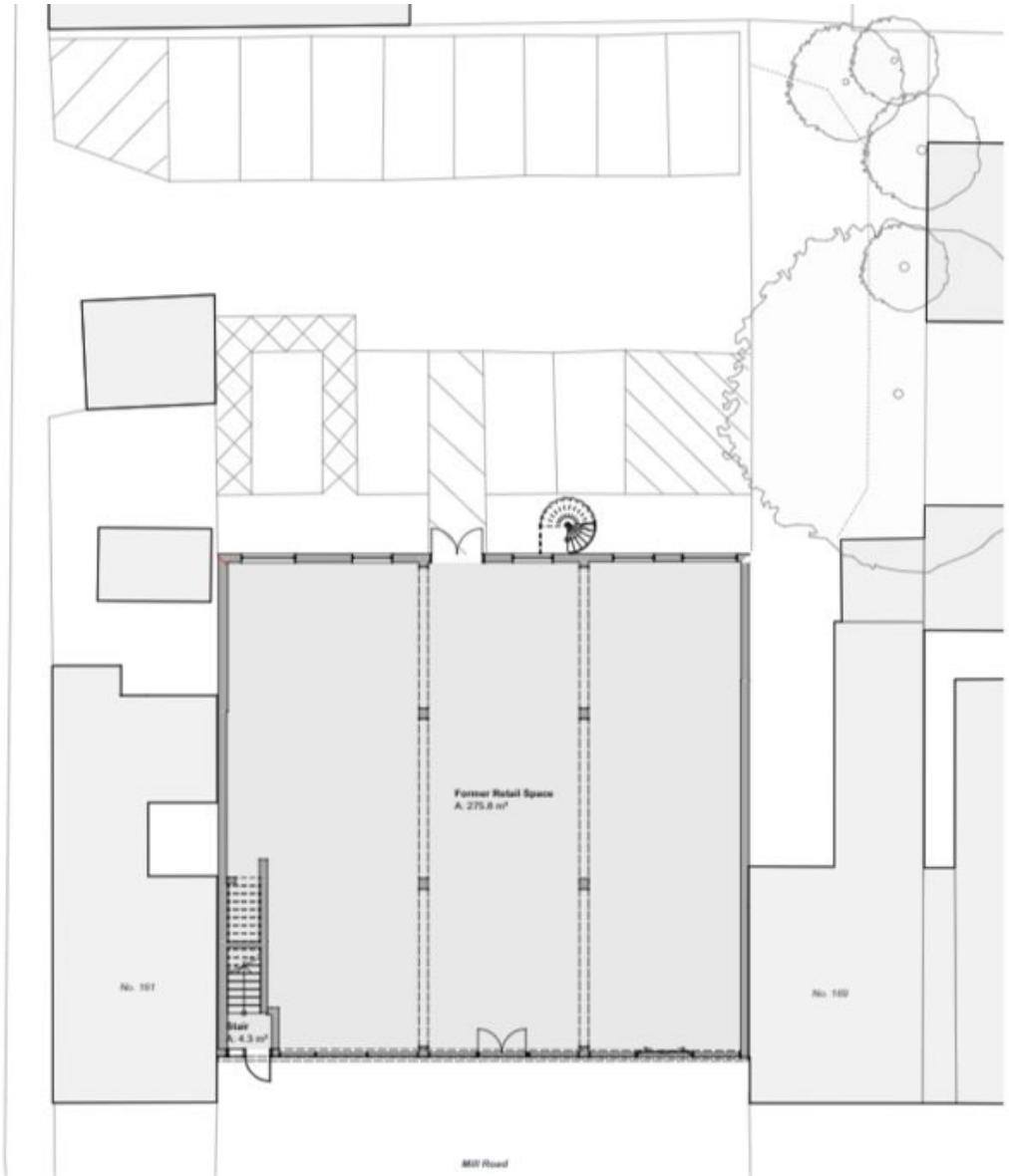

Sedgwick St
Sedgwick St
Sedgwick St
Nislo
Bea's Beauty Retreat
Hilary's
Cafe Blue Sage
Fontana Beauty
The Old Chemist Shop Antique Centre
Antique Shop
Pizza · ££
20A
165
168-167
167
173A
177
1B

3D Aerial View - Rear

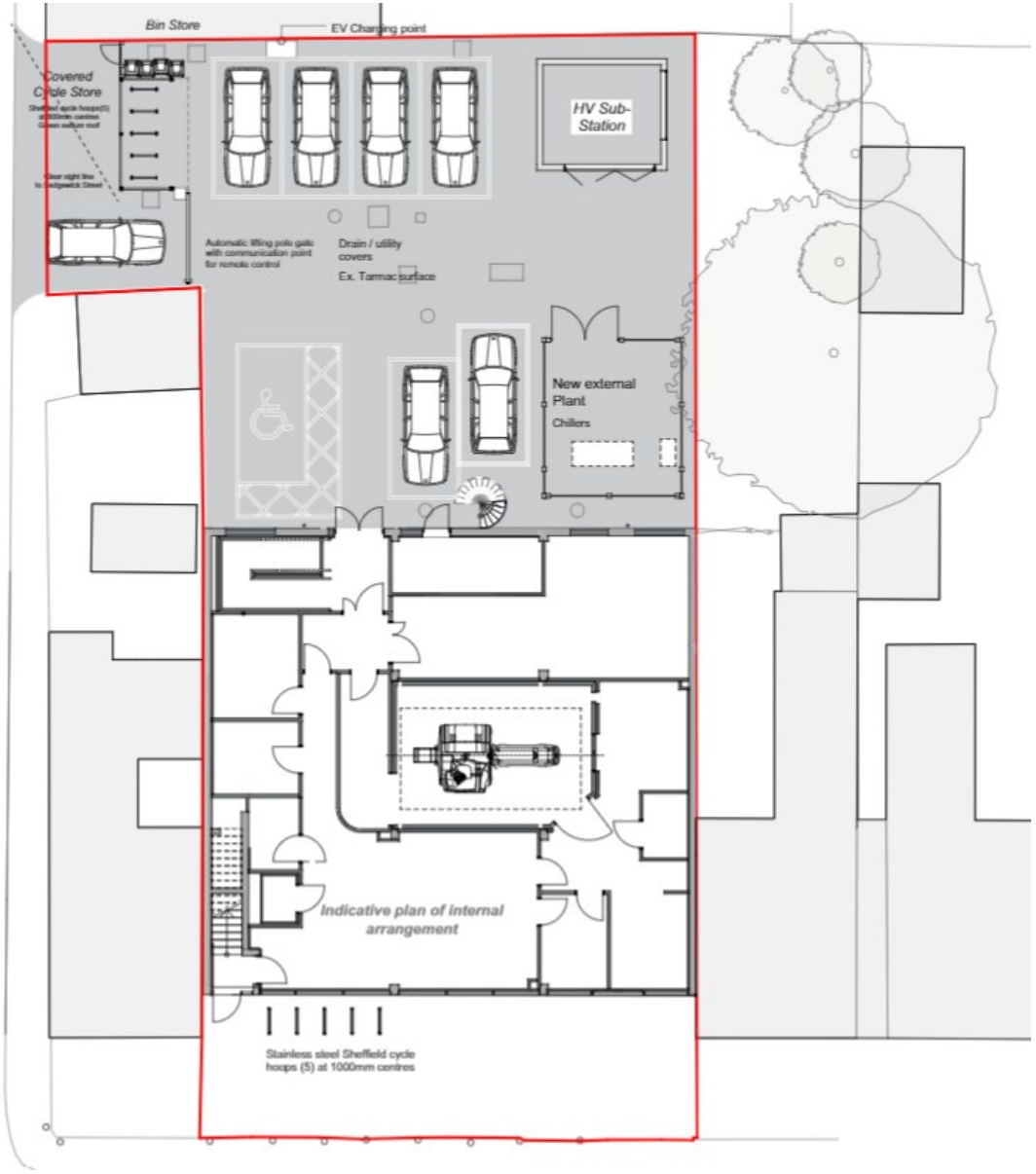
Planning History

Reference	Description	Outcome
21/03622/PRI03O	Prior approval for change of use from offices (Class B1 (a)) to 4 No. dwellinghouses (Class C3)	Prior Approval Given
14/0963/ADV	Rebranding of Tesco Express retail unit: 2 No. fascia, 1 projecting sign and 10 other signs	Permitted
08/0099/FUL	Erection of single storey rear extension and installation of plant.	Refused – Appeal Dismissed

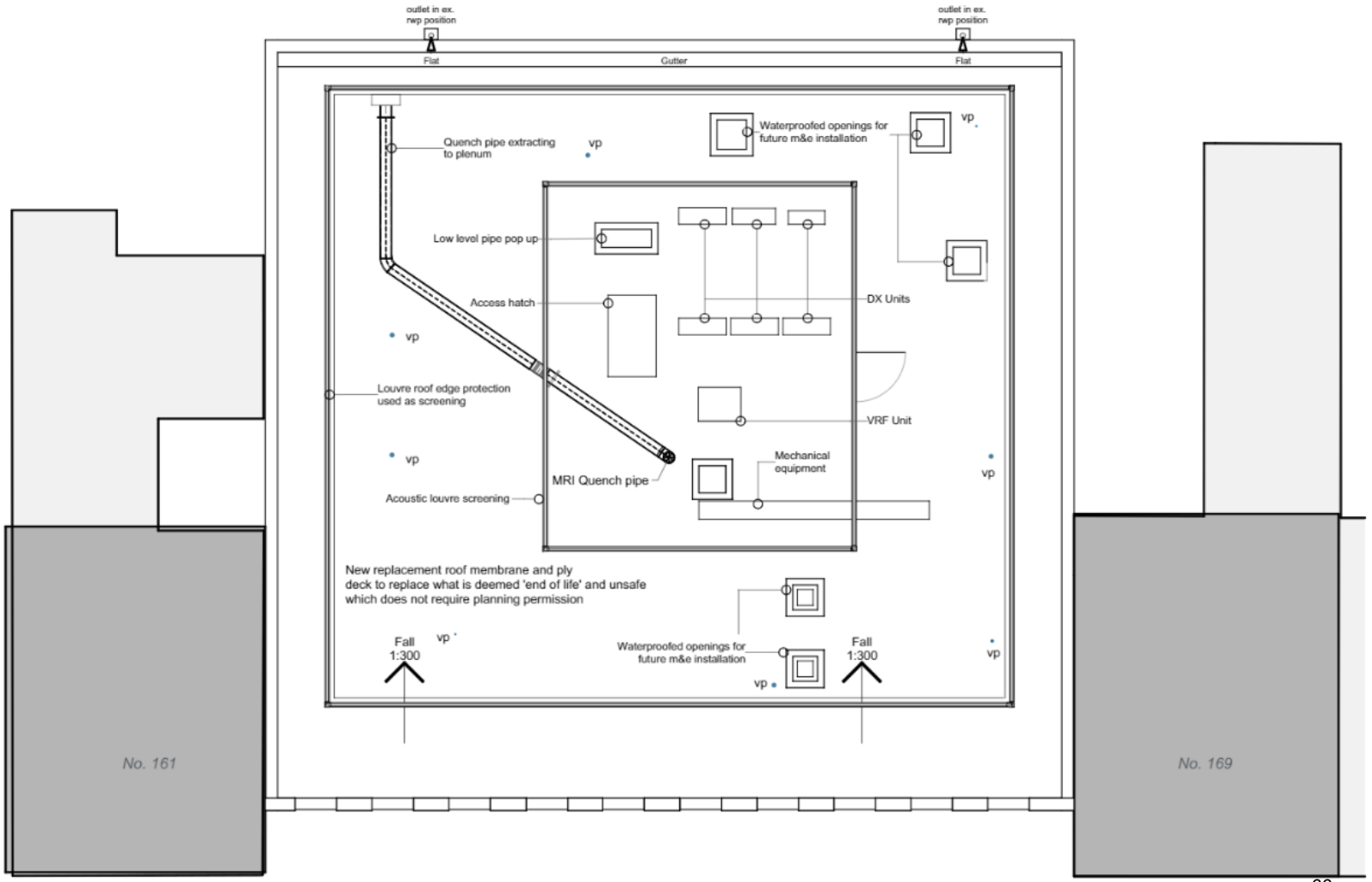
Existing Site and Ground Floor Plan



Proposed Site and Ground Floor Plan



Proposed Roof Plan



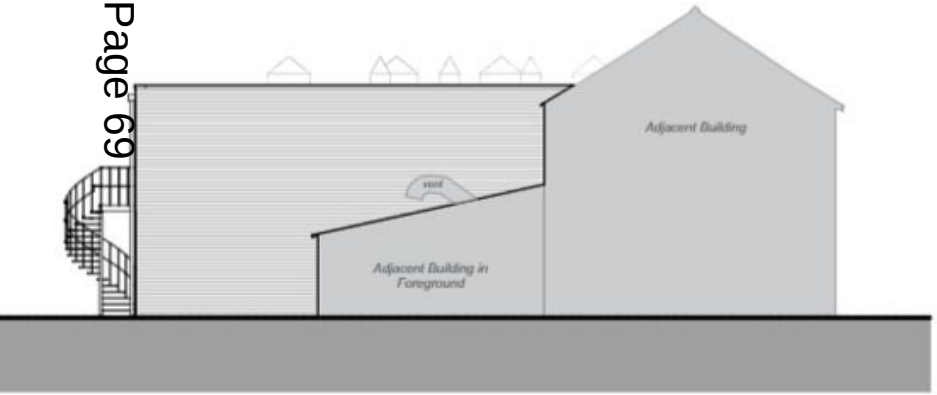
Existing Front and Rear Elevations

E-01 Front Elevation 1:100

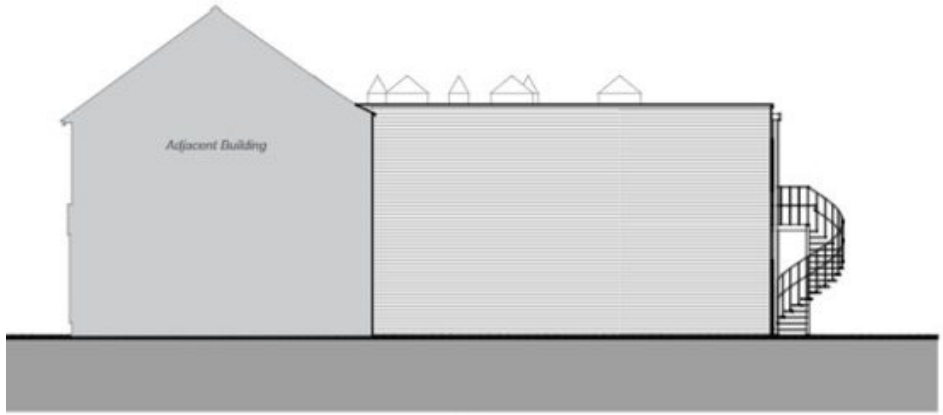
E-02 Rear Elevation 1:100

Proposed Front and Rear Elevations

Existing Side Elevations

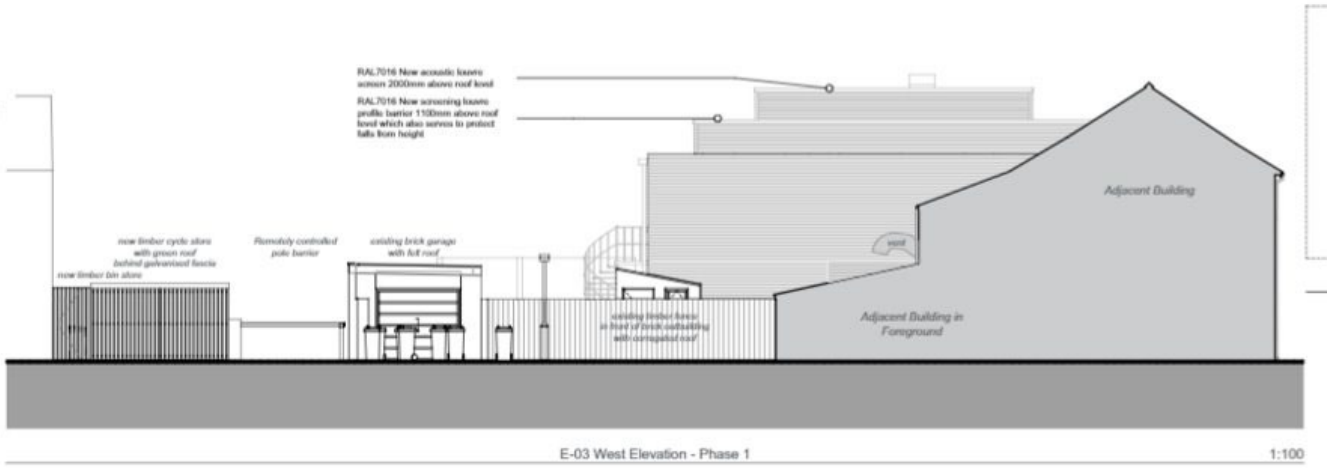


E-03 West Elevation 1:100

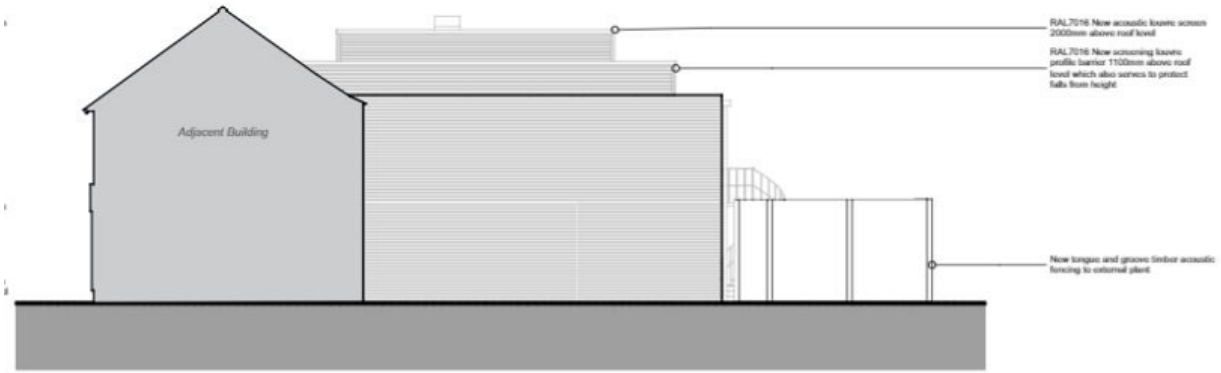


E-04 East Elevation 1:100

Proposed Side Elevations



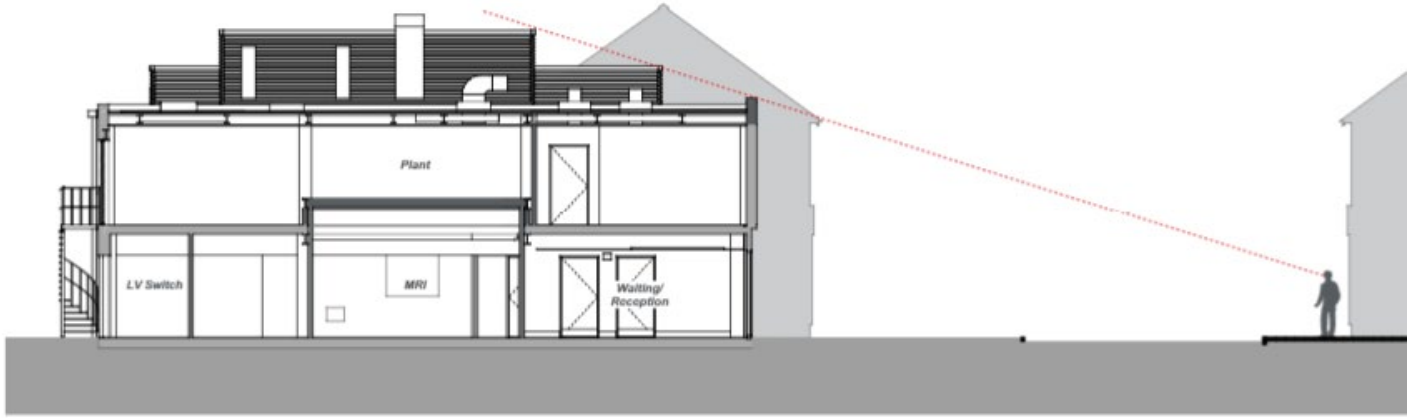
E-03 West Elevation - Phase 1 1:100



E-04 East Elevation - Phase 1 1:100

Proposed Sections

S-02 Building Section 1:100



S-01 Building Section

Streetview Images


TESCO express
bush
sales
Hello.


MONARCH COIN LAUNDRY
WASH & DRY YOUR DUVET HERE
TESCO express
Google


Google
Image capture: Sept 2020 © 2024 Google United Kingdom Terms

Representations

Objections received regarding:

- Use of site
- Impact on character of the area
- Residential Amenity Impact
- Noise impact
- Plant Impact
- MRI being safe in residential area
- No improvement to Landscape/Biodiversity
- Should be a green roof
- Construction Impacts
- Highways/Traffic implications
- Cycle provision

Cllr Baigent objecting relating to:

- Structural Changes to Building
- Residential Amenity impact as a result from plant.

- Petition also received objection to the use of the building as an MRI clinic.

Consultee Comments

No Objections

- Conservation Officer
- Local Highways Authority
- Environmental Health
- Sustainability Officer
- Sustainable Drainage Officer

Change of use – clarification

- The application is not seeking a change of use. The Town and Country Planning (Use Classes) (Amendment)(England) Regulations 2020

Shops Supermarkets Post Offices Travel Agencies Sandwich Bars Hairdressers/Barbers Funeral Directors/ Undertakers Retail Warehouses (Argos etc.) Domestic Hire Shops Dry Cleaners Locations to receive items for cleaning or repair Internet Cafés Banks and Building Societies Estate Agents or Employment Agencies Restaurants Cafés	A1 A2 A3	Use Class E Commercial, Business and Service

Offices Research and Development of products and processes Light Industrial appropriate in a residential area	B1(a) B1(b) B1(c)	Use Class E Commercial, Business and Service

Doctors, Clinics and Health Centres, Acupuncture Clinics etc. (except where linked to the residence of the practitioner) Crèches, Day Nurseries or Day Centres	D1	Use Class E Commercial, Business and Service